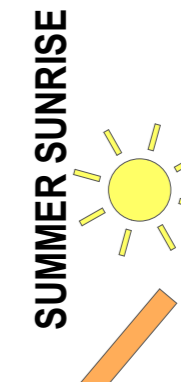


Attachment B

Selected Drawings



1

SITE PLAN
1:200

REV	DATE	BY	REV	DATE	DESCRIPTION	REVISION NOTE
P1	26/02/21				ISSUE FOR COORDINATION	
A	24/02/21				ISSUE FOR DEVELOPMENT APPLICATION	
B	30/11/21				REVISED ISSUE FOR DEVELOPMENT APPLICATION	

<p>NOTE</p> <ol style="list-style-type: none"> Contractor to verify all dimensions on site before any shop drawings or work is commenced. Any discrepancies between drawings or differing scales or between drawings and site conditions must be notified to the supervisor and/or the architect or draftsman immediately. It is the responsibility of the contractor to ensure that all dimensions are taken from the drawings. Figured dimensions to be taken in preference to scaled dimensions. Critical dimensions to be taken from site. Contractor to be responsible for ensuring that the drawings are in accordance with the specifications and engineers' drawings. <p>This drawing is the copyright of Mostaghim Architects and may not be allowed, reproduced or transmitted in any form or by any means, in part or in whole without the prior express written consent of Mostaghim Architects.</p>	<p>REVISION NOTE</p>	<p>CLIENT:</p> <p>DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD 49-51 GREEK ST GLEBE NSW 2037</p> <p>PROJECT ADDRESS:</p> <p>7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037</p>	<p>PROJECT TITLE:</p> <p>GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE</p> <p>DRAWING TITLE:</p> <p>SITE PLAN/SITE ANALYSIS PLAN</p>	<p>CREATED BY:</p> <p>AM</p> <p>100 mm ACTUAL</p> <p>IF THE ABOVE DIMENSIONS DO NOT MATCH THE DIMENSIONS ON THE DRAWING (1:100 mm EXACTLY), THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.</p> <p>SCALE:</p> <p>1:200 @ A1</p> <p>PROJECT NUMBER:</p> <p>21002</p> <p>DATE:</p> <p>DA01</p> <p>REVISION:</p> <p>B</p>
---	----------------------	--	--	---

LEGEND	
	EXISTING WALL / ELEMENT
	WALL / ELEMENT TO BE DEMOLISHED
	NEW WALL / ELEMENT



1 EXISTING/DEMOLITION GROUND FLOOR PLAN 1:100

NOTE

- Contractor to verify all dimensions on site before any site works or work is commenced.
- Any discrepancies between drawings or differing scales or between drawings and site conditions are to be notified to the architect and/or engineer immediately.
- Architects or engineers to be notified to supplement and/or amend drawings or details as appropriate to be taken in preference to scaled dimensions.
- Figured dimensions to be taken from site.
- Critical dimensions to be taken in conjunction with the specifications and engineers' drawings.
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REVISION NOTE	
REV	DESCRIPTION
P1	ISSUE FOR CO-ORDINATION
P2	ISSUE FOR CO-ORDINATION
A	ISSUE FOR DEVELOPMENT APPLICATION
B	REVISED ISSUE FOR DEVELOPMENT APPLICATION
C	REVISED ISSUE FOR DEVELOPMENT APPLICATION

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Nominated Architect Ashkan Mostaghim 8358

CLIENT:
 DENWOL HOME PTY LTD &
 DENWOL FRANKLYN PTY LTD
 49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
 7 FRANKLYN STREET & 49-51 GREEK ST
 GLEBE NSW 2037

PROJECT TITLE:
 GREEK STREET BOARDING HOUSE
 DEVELOPMENT GLEBE

DRAWING TITLE:
 EXISTING / DEMOLITION GROUND FLOOR
 PLAN

CLOURED MODIFICATIONS:
 1. STAIR INCORRECT AMENDED.

CHECKED BY:
 AM

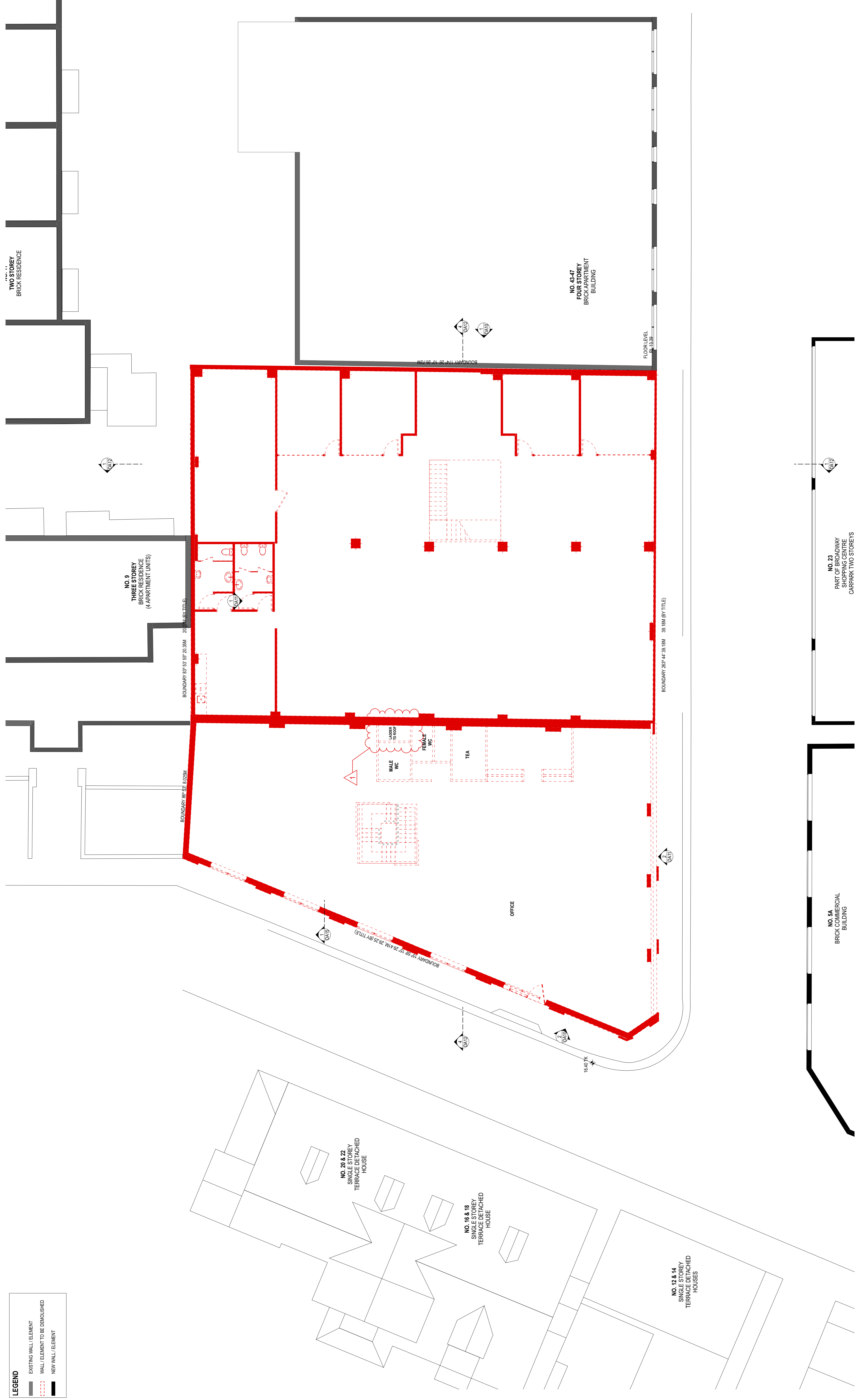
DRAWN BY:
 MO

SCALE:
 1:100 @ A1

PROJECT NUMBER:
 21002

disc: A
stage / fig no.: DAO2
revision: C

LEGEND	
	EXISTING WALL / ELEMENT
	WALL / ELEMENT TO BE DEMOLISHED
	NEW WALL / ELEMENT



1 EXISTING/DEMOLITION LEVEL 1 FLOOR PLAN
1:100

REV	DATE	BY	DESCRIPTION
P1	7/4/21		ISSUE FOR CO-ORDINATION
P2	26/4/21		ISSUE FOR CO-ORDINATION
A	24/8/21		ISSUE FOR DEVELOPMENT APPLICATION
B	30/1/21		REVISED ISSUE FOR DEVELOPMENT APPLICATION
C	8/2/22		REVISED ISSUE FOR DEVELOPMENT APPLICATION

REVISION NOTE	
1	Check to verify all dimensions on site before any shop drawings or work is commenced.
2	Any discrepancies between drawings of differing scales or between drawings and site conditions are to be noted to the supervisor and the architect or draftsman as appropriate to be resolved in preference to scaled dimensions.
3	Critical dimensions to be taken from site.
4	Drawings are to be read in conjunction with the specifications and engineers' drawings.
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CLIENT:
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 DENWOL FRANKLYN PTY LTD
 49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
 7 FRANKLYN STREET & 49-51 GREEK ST
 GLEBE NSW 2037

NORTH POINT:

PROJECT TITLE:
 GREEK STREET BOARDING HOUSE
 DEVELOPMENT GLEBE

DRAWING TITLE:
 EXISTING/DEMOLITION LEVEL 1 PLAN

SCALE:
 1:100 @ A1

PROJECT NUMBER:
 21002

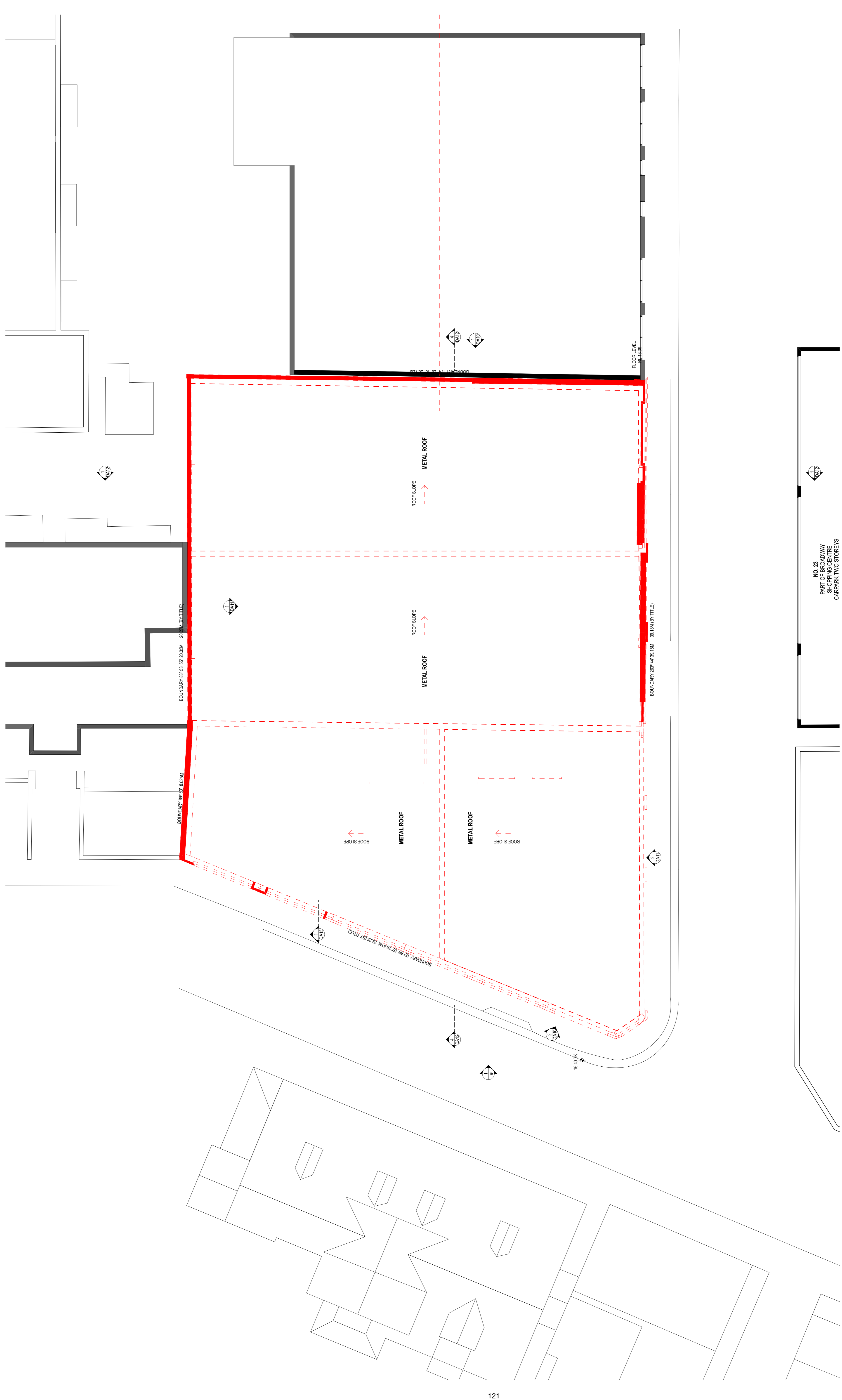
CHECKED BY:
 AM

DRAWN BY:
 MO

100 mm ACTUAL
 IF THE ABOVE DIMENSIONS DO NOT CORRESPOND TO THE DIMENSIONS ON SITE, THE DIMENSIONS ON SITE SHALL PREVAIL. THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

NOTES/ADDED:
 CLOURED MODIFICATIONS:

disc **sheet / page no.** **revision**
 A DA03 C



1

EXISTING/DEMOLITION ROOF PLAN 1:100

NOTE

1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
2. Any discrepancies between drawings or differing scales or between drawings and the site shall be referred to the architect immediately for clarification. Any amendments to drawings or details shall be referred to the architect or draftsman in writing for approval and to be signed by the architect or draftsman.
3. Critical dimensions to be taken from site.
4. Contractors to refer to specifications with the specifications and engineers' drawings.
5. This drawing is the copyright of Mostaghim architects and may not be altered, reproduced or transmitted in any form or by any means, in part or in whole without the prior express written consent of Mostaghim architects.

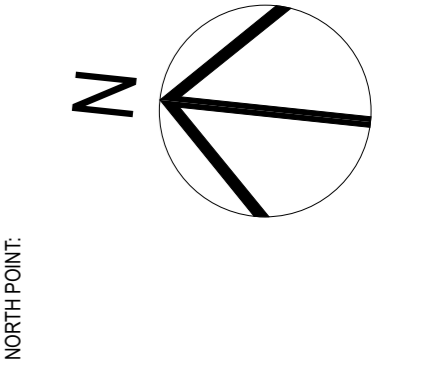
REV	DESCRIPTION	DATE	BY
A	ISSUE FOR DEVELOPMENT APPLICATION	24/02/21	
B	REVISED ISSUE FOR DEVELOPMENT APPLICATION	30/11/21	

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REVISION NOTE

DESCRIPTION	DATE	BY



CLIENT:
 DENWOL HOME PTY LTD &
 DENWOL FRANKLYN PTY LTD
 49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
 7 FRANKLYN STREET & 49-51 GREEK ST
 GLEBE NSW 2037

PROJECT TITLE:
 GREEK STREET BOARDING HOUSE
 DEVELOPMENT GLEBE

DRAWING TITLE:
 EXISTING/DEMOLITION ROOF PLAN

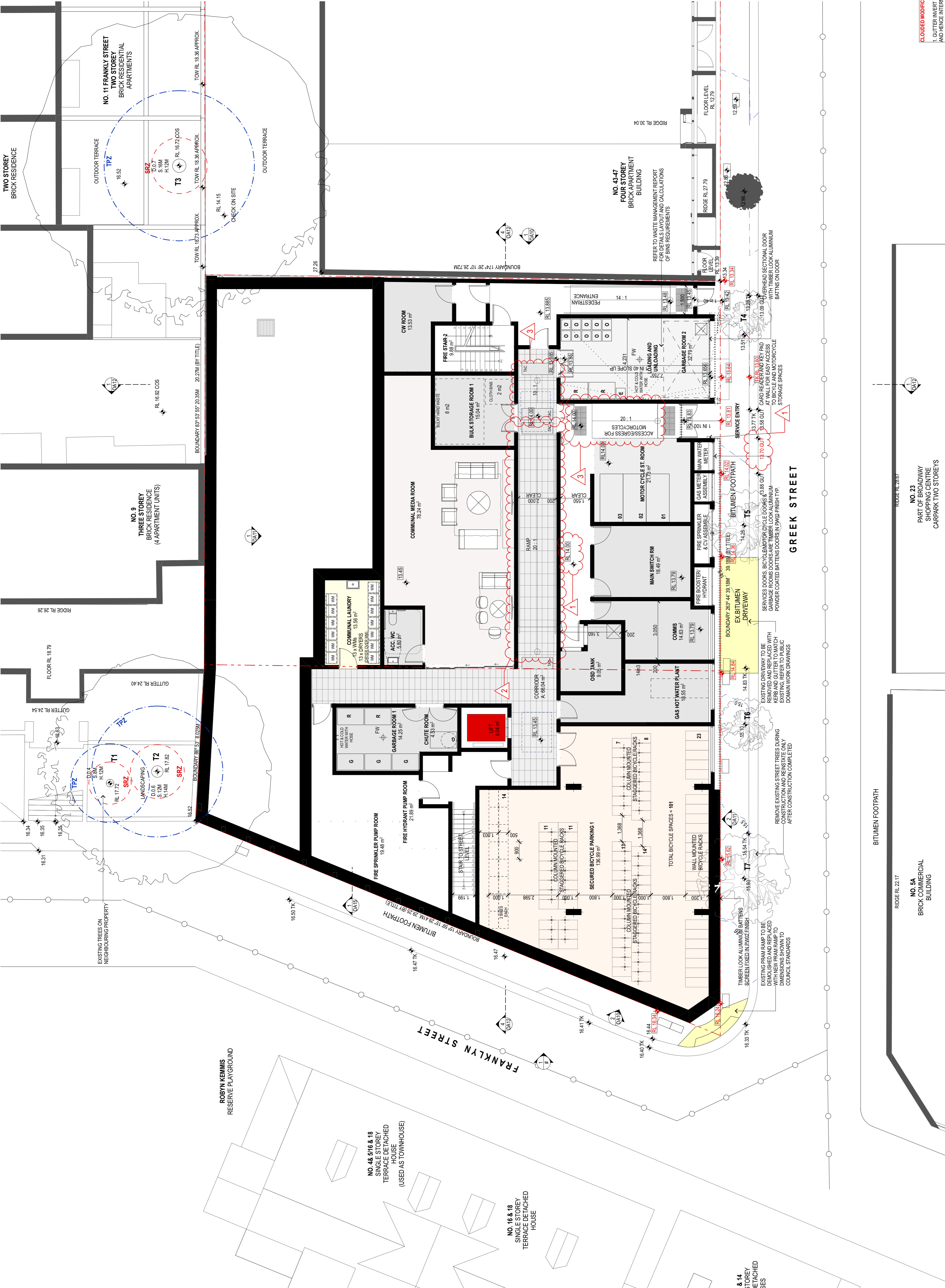
DRAWN BY: MO
CHECKED BY: AM

SCALE: 100 mm ACTUAL
 IF THE ABOVE DIMENSIONS DO NOT MATCH WITH THE DIMENSIONS ON THE DRAWING (100 mm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

PROJECT NUMBER: 21002

DISC: A DA04 B
 sheet / disc no. revision

LEGEND	
	EXISTING WALL / ELEMENT
	WALL / ELEMENT TO BE DEMOLISHED
	NEW WALL / ELEMENT



1 PROPOSED LOWER GROUND FLOOR PLAN
1:100

NOTE
1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
2. Any discrepancies between drawings of differing scales or between drawings and site conditions are to be resolved by the architect in consultation with the client.
3. Fitted dimensions to be taken in preference to scaled dimensions.
4. Critical dimensions to be taken from site.
5. Dimensions to be taken in conjunction with the specifications and engineers' drawings.
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REVISION NOTE	
REV	DESCRIPTION
P1	ISSUE FOR CO-ORDINATION
P2	ISSUE FOR CO-ORDINATION
P3	ISSUE FOR CO-ORDINATION
P4	ISSUE FOR DEVELOPMENT APPLICATION
A	ISSUE FOR DEVELOPMENT APPLICATION
B	ISSUE FOR DEVELOPMENT APPLICATION
C	REVISED ISSUE FOR DEVELOPMENT APPLICATION
D	REVISED ISSUE FOR DEVELOPMENT APPLICATION

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Nominated Architect Ashkan Mostaghim 8358

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DENWOL HOME PTY LTD &
DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
7 FRANKLYN STREET & 49-51 GREEK ST
GLEBE NSW 2037

PROJECT TITLE:
GREEK STREET BOARDING HOUSE
DEVELOPMENT GLEBE

DRAWING TITLE:
PROPOSED LOWER GROUND FLOOR
PLAN

DRAWN BY: MO
CHECKED BY: AM

SCALE: 1:100 @ A1

PROJECT NUMBER: 21002

DATE: A DA05
disc
sheet / page no.

REVISION: D

100 mm ACTUAL
IF THE ABOVE DIMENSIONS ARE TO BE ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

1:100 @ A1
AFFECTING ALL LABELED SCALES.

21002
PROJECT NUMBER

DA05
disc

D
revision

REVISION NOTE

1. GUTTER INVERT LEVEL ADDED TO MOTORCYCLE ACCESS/EGRESS AT HIGHER GROUND LEVEL AND HENCE INTERNAL LEVEL AMENDED IN RESPONSE TO COUNCIL LETTER DATED 13 JANUARY 2022 ITEM 1.

2. INTERNAL RAMP LENGTH AMENDED DUE TO TOP OF RAMP LEVEL AMENDED IN RESPONSE TO COUNCIL LETTER DATED 13 JANUARY 2022 ITEM 1.

3. INTERNAL RAMP ADDED DUE TO LEVEL CHANGES IN RESPONSE TO COUNCIL LETTER DATED 13 JANUARY 2022 ITEM 1.

CLOUDED MODIFICATIONS:

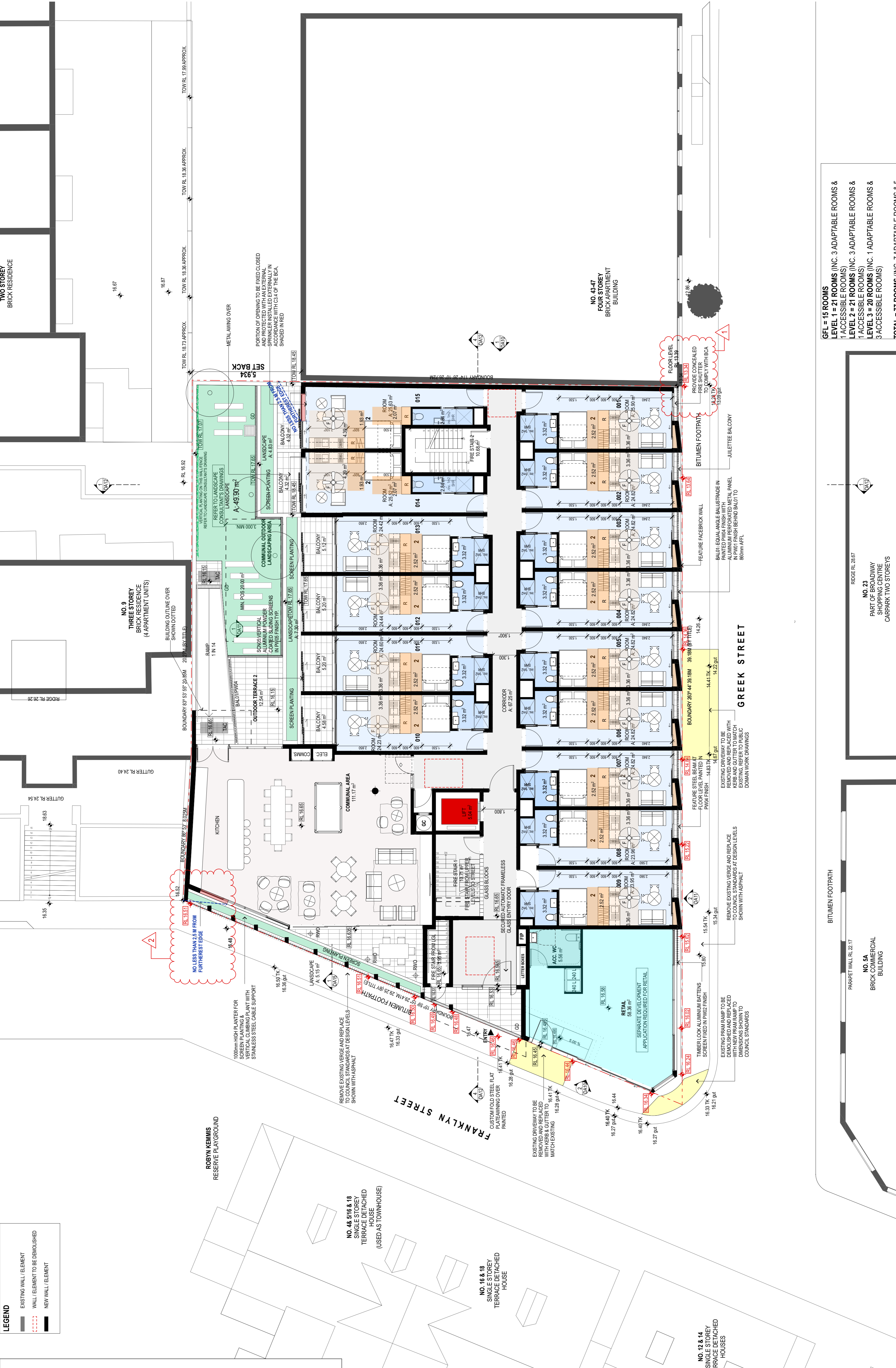
1. GUTTER INVERT LEVEL ADDED TO MOTORCYCLE ACCESS/EGRESS AT HIGHER GROUND LEVEL AND HENCE INTERNAL LEVEL AMENDED IN RESPONSE TO COUNCIL LETTER DATED 13 JANUARY 2022 ITEM 1.

2. INTERNAL RAMP LENGTH AMENDED DUE TO TOP OF RAMP LEVEL AMENDED IN RESPONSE TO COUNCIL LETTER DATED 13 JANUARY 2022 ITEM 1.

3. INTERNAL RAMP ADDED DUE TO LEVEL CHANGES IN RESPONSE TO COUNCIL LETTER DATED 13 JANUARY 2022 ITEM 1.

ABBREVIATIONS	DESCRIPTION
AC	AIR CONDITIONER
AD	ADJUSTABLE
AW	AWNING
AFLL	ABOVE FINISHED FLOOR LEVEL
AGR	AGRICULTURAL DRAIN
AG	AGGREGATE
BO	BOLLARD
BTM	BOTTOM
BTM	BOTTOM
CC	CONCRETE COLUMN
CJ	CONTROL JOINT
CL	CENTRE LINE
CMK	COLORBOND METAL FLASHING
CCS	CHECK ON SITE
CP	COMPASS
CP	COMPASS SYSTEM
ES	EAVES GUTTER
EQ	EQUAL
FC	FIBRE CEMENT CLADDING
FLL	FINISHED FLOOR LEVEL
FP	FIRE PANEL
FP	FIRE INDICATOR PANEL
GC	GARBAGE CHUTE
GR	GRASS
HR	HAND RAIL
HW	HOT WATER
MC	METAL CLADDING
MS	METAL SHEETING
NOM	NOMINAL
OPC	OFF FORM CONCRETE
RC	REINFORCED CONCRETE
RL	REDUCED LEVEL
RSM	RAIN WATER OUTLET
RWO	RAIN WATER OUTLET
SC	STEEL COLUMN
SS	STRUCTURAL SLAB LEVEL
SS	STRUCTURAL SLAB LEVEL
SZ	STRUCTURAL ROOT ZONE
TAC	FLOOR TACTILE
TAC	FLOOR TACTILE
TBC	TOP OF BIDGE
TCP	TOP OF CURB
TCP	TOP OF CURB
TOW	TOP OF WALL
TPZ	TREE PROTECTION ZONE
TPZ	TREE PROTECTION ZONE
US	UNDERSIDE
VB	VILLBOARD LINING

LEGEND	DESCRIPTION
	EXISTING WALL / ELEMENT
	WALL / ELEMENT TO BE DEMOLISHED
	NEW WALL / ELEMENT



PROPOSED GROUND FLOOR PLAN
1:100

NOTE
1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
2. Any discrepancies between drawings or differing scales or between drawings and specifications shall be referred to the architect for clarification.
3. Fitted dimensions to be taken from site.
4. Critical dimensions to be taken from site.
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REV	DATE	BY	DESCRIPTION
P1	25/02/21		ISSUE FOR CO-ORDINATION
P2	26/02/21		ISSUE FOR CO-ORDINATION
P3	19/02/21		ISSUE FOR DEVELOPMENT APPLICATION
A	24/02/21		REVISED ISSUE FOR DEVELOPMENT APPLICATION
B	29/02/21		REVISED ISSUE FOR DEVELOPMENT APPLICATION
C	03/03/21		REVISED ISSUE FOR DEVELOPMENT APPLICATION
D	04/02/21		REVISED ISSUE FOR DEVELOPMENT APPLICATION

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 49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
 7 FRANKLYN STREET & 49-51 GREEK ST
 GLEBE NSW 2037

PROJECT TITLE:
 GREEK STREET BOARDING HOUSE
 DEVELOPMENT GLEBE

DRAWING TITLE:
 PROPOSED GROUND FLOOR PLAN

CHECKED BY: AM
DRAWN BY: MO

SCALE: 1:100 @ A1
PROJECT NUMBER: 21002

DATE: DA06
REVISION: D

REVISION NOTE
1. AMEND NOTES REGARDING BCA
2. ADD MISSING NOTES REGARDING BCA

GLF = 15 ROOMS
 LEVEL 1 = 21 ROOMS (INC. 3 ADAPTABLE ROOMS & 1 ACCESSIBLE ROOMS)
 LEVEL 2 = 21 ROOMS (INC. 3 ADAPTABLE ROOMS & 1 ACCESSIBLE ROOMS)
 LEVEL 3 = 20 ROOMS (INC. 1 ADAPTABLE ROOMS & 3 ACCESSIBLE ROOMS)
 TOTAL = 77 ROOMS (INC. 7 ADAPTABLE ROOMS & 5 ACCESSIBLE ROOMS)

NOTE: MANAGERS ROOM ON LEVEL 3.

LEGEND

	EXISTING WALL / ELEMENT
	WALL / ELEMENT TO BE DEMOLISHED
	NEW WALL / ELEMENT



PROPOSED LEVEL 1 PLAN
1:100

NOTE

- Contractor to verify all dimensions on site before any shop drawings or work is commenced.
- Any discrepancies between drawings of differing scales or between drawings and site conditions are to be notified to the architect and/or engineer and the drawings are to be updated accordingly.
- Figured dimensions to be taken from site.
- Dimensions to be taken from face of wall.
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REVISION NOTE

REV	DATE	BY	DESCRIPTION
P1	25/3/21		ISSUE FOR CO-ORDINATION
P2	26/4/21		ISSUE FOR CO-ORDINATION
P3	19/5/21		ISSUE FOR CO-ORDINATION
A	24/8/21		ISSUE FOR DEVELOPMENT APPLICATION
B	28/10/21		REVISED ISSUE FOR DEVELOPMENT APPLICATION
C	24/11/21		REVISED ISSUE FOR DEVELOPMENT APPLICATION
D	4/2/22		REVISED ISSUE FOR DEVELOPMENT APPLICATION

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Nominated Architect Ashkan Mostaghim 83568

CLIENT:
DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
7 FRANKLYN STREET & 49-51 GREEK ST
GLEBE NSW 2037

PROJECT TITLE:
GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE

DRAWING TITLE:
PROPOSED LEVEL 1 PLAN

SCALE:
1:100 @ A1

PROJECT NUMBER:
21002

DISC:
A

REVISION:
DA07

NOTES AND BCA REQUIREMENTS ADOPTED:

DRAWN BY: MO
CHECKED BY: AM

SCALE: 100mm ACTUAL

IF THE ABOVE DIMENSIONS DO NOT MATCH THE DIMENSIONS ON THE DRAWING, THE DIMENSIONS ON THE DRAWING WILL BE ENLARGED OR REDUCED, (100mm) EXACTLY. THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELLED SCALES.

DATE:

GF/L = 15 ROOMS
LEVEL 1 = 21 ROOMS (INC. 3 ADAPTABLE ROOMS & 1 ACCESSIBLE ROOMS)
LEVEL 2 = 21 ROOMS (INC. 3 ADAPTABLE ROOMS & 1 ACCESSIBLE ROOMS)
LEVEL 3 = 20 ROOMS (INC. 1 ADAPTABLE ROOMS & 3 ACCESSIBLE ROOMS)
TOTAL = 77 ROOMS (INC. 7 ADAPTABLE ROOMS & 5 ACCESSIBLE ROOMS)

NOTE: MANAGER'S ROOM ON LEVEL 3.



PROPOSED LEVEL 2 PLAN
1:100

NO. 9
THREE STOREY BRICK RESIDENCE (4 APARTMENT UNITS)

NO. 48-51 & 18
SINGLE STOREY TERRACE DETACHED HOUSE (USED AS TOWNHOUSE)

NO. 16 & 18
SINGLE STOREY TERRACE DETACHED HOUSE

NO. 12 & 14
SINGLE STOREY TERRACE DETACHED HOUSES

NO. 43-47
FOUR STOREY BRICK APARTMENT BUILDING

NO. 23
PART OF BROADWAY SHOPPING CENTRE CARPARK TWO STOREYS

NO. 5A

FRANKLIN STREET
GREEK STREET
BITUMEN FOOTPATH
ROOFS
FLOOR LEVEL

1

REV	DESCRIPTION	DATE	BY	REV	DATE	DESCRIPTION	BY	DATE
A	REVISED ISSUE FOR DEVELOPMENT APPLICATION	29/1/21						
B	REVISED ISSUE FOR DEVELOPMENT APPLICATION	30/1/21						
C	REVISED ISSUE FOR DEVELOPMENT APPLICATION	4/2/21						

NOTE
1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
2. Any discrepancies between drawings or differing scales or between drawings and shop drawings are to be notified to the architect or engineer in writing. The architect or engineer is to be notified in preference to scaled dimensions.
3. Figures are to be taken from the drawings and not from the site.
4. Critical dimensions to be taken from site drawings.
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REVISION NOTE

CLIENT:
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DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
7 FRANKLYN STREET & 49-51 GREEK ST
GLEBE NSW 2037

PROJECT TITLE:
GREEK STREET BOARDING HOUSE
DEVELOPMENT GLEBE

PROJECT NUMBER:
21002

DRAWING TITLE:
PROPOSED LEVEL 2 PLAN

SCALE:
A disc
C revision

PROJECT NUMBER:
21002

SCALE:
A disc
C revision

NOTES AND BCA REQUIREMENTS AMENDED:
MO AM

CHECKED BY:
AM

DRAWN BY:
MO

100 mm ACTUAL
IF THE ABOVE DIMENSIONS WERE TO BE SHOWN AT FULL SCALE, ALL DIMENSIONS WOULD BE ENLARGED OR REDUCED. (100 mm) EXACTLY. THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELLED SCALES.

REVISION NOTE

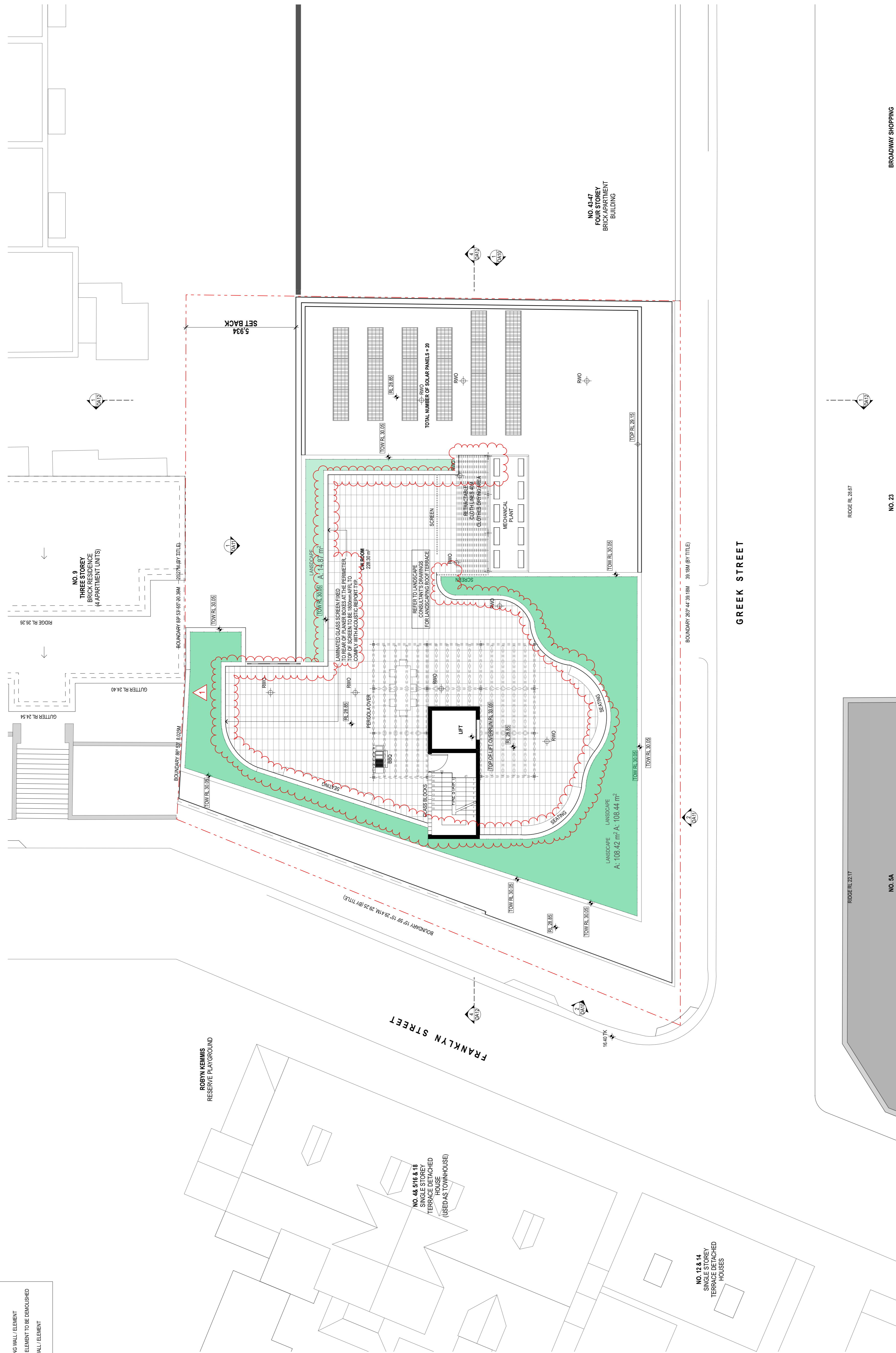
GFL = 15 ROOMS
LEVEL 1 = 21 ROOMS (INC. 3 ADAPTABLE ROOMS & 1 ACCESSIBLE ROOMS)
LEVEL 2 = 21 ROOMS (INC. 3 ADAPTABLE ROOMS & 1 ACCESSIBLE ROOMS)
LEVEL 3 = 20 ROOMS (INC. 1 ADAPTABLE ROOMS & 3 ACCESSIBLE ROOMS)

TOTAL = 77 ROOMS (INC. 7 ADAPTABLE ROOMS & 5 ACCESSIBLE ROOMS)

NOTE: MANAGER'S ROOM ON LEVEL 3.

LEGEND

- EXISTING WALL / ELEMENT
- WALL ELEMENT TO BE DEMOLISHED
- NEW WALL ELEMENT



PROPOSED ROOF PLAN
1:100

NOTE

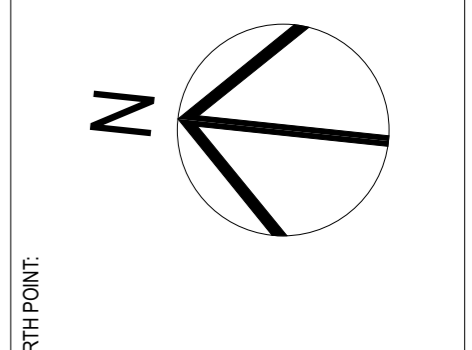
1. Contractors to verify all dimensions on site before any site work commences.
2. Any discrepancies between drawings or differing scales or between drawings and site conditions are to be notified to the architect and/or the engineer immediately.
3. Fitted dimensions to be taken in preference to scaled dimensions.
4. Critical dimensions to be taken from site.
5. Dimensions to be taken in conjunction with the specifications and engineers' drawings.

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REV	DESCRIPTION	DATE	BY
P1	ISSUE FOR CO-ORDINATION	25/02/21	
P2	ISSUE FOR CO-ORDINATION	26/04/21	
P3	ISSUE FOR CO-ORDINATION	29/04/21	
P4	ISSUE FOR CO-ORDINATION	19/02/21	
A	ISSUE FOR DEVELOPMENT APPLICATION	24/02/21	
B	REVISED ISSUE FOR DEVELOPMENT APPLICATION	30/10/21	
C	REVISED ISSUE FOR DEVELOPMENT APPLICATION	17/02/22	
D	REVISED ISSUE FOR DEVELOPMENT APPLICATION		

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CLIENT:
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DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
7 FRANKLYN STREET & 49-51 GREEK ST
GLEBE NSW 2037

PROJECT TITLE:
GREEK STREET BOARDING HOUSE
DEVELOPMENT GLEBE

DRAWING TITLE:
PROPOSED ROOF PLAN

SCALE:
1:100 @ A1

PROJECT NUMBER:
21002

DISC:
A

sheet / page no.:
DA09

revision:
D

BROADWAY SHOPPING CENTRE

NO. 23
PART OF BROADWAY
SHOPPING CENTRE
CARPARK TWO STOREYS

NO. 5A
BRICK COMMERCIAL

RIDGE RL 28.67

GREEK STREET

NO. 43-47
FOUR STOREY
BRICK APARTMENT
BUILDING

FRANKLYN STREET

ROBYN KEMMIS
RESERVE PLAYGROUND

NO. 9
THREE STOREY
BRICK RESIDENCE
(4 APARTMENT UNITS)

GLOBAL INDICATIONS:
1. ADD LAMINATED GLAZED SCREEN TO COMPLY WITH ACOUSTIC REPORT, TOP OF SCREEN TO BE 180mm AFFL.

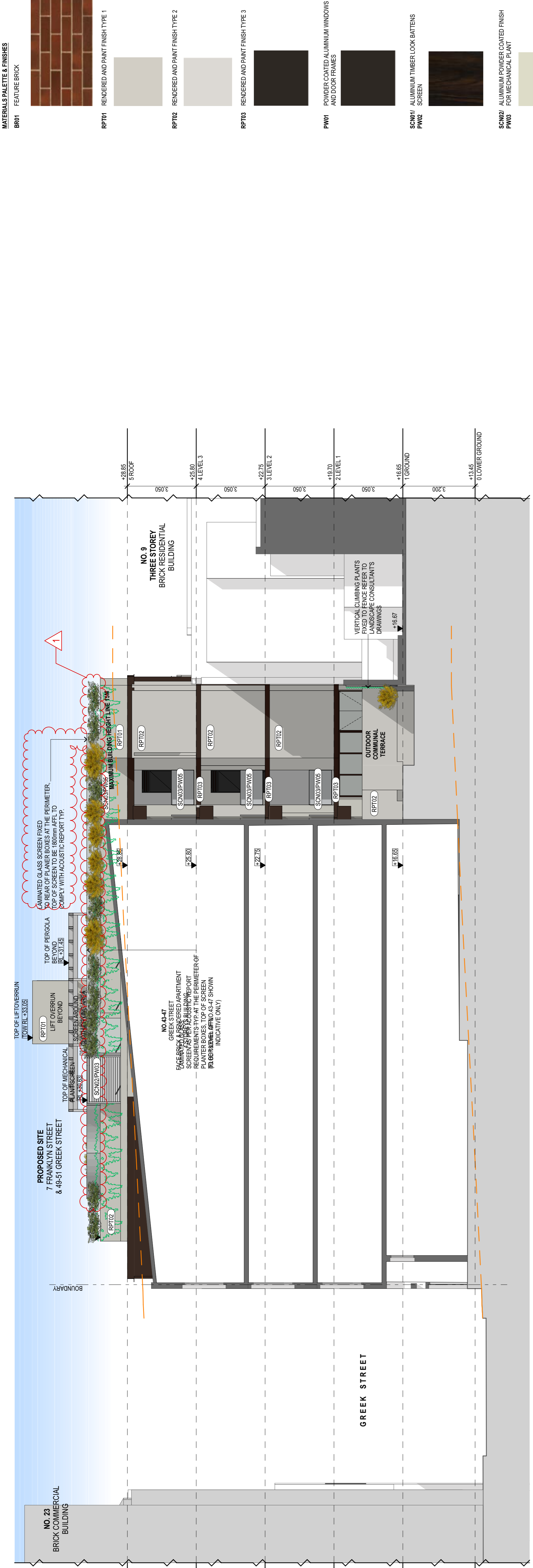
DRAWN BY:
MO

CHECKED BY:
AM

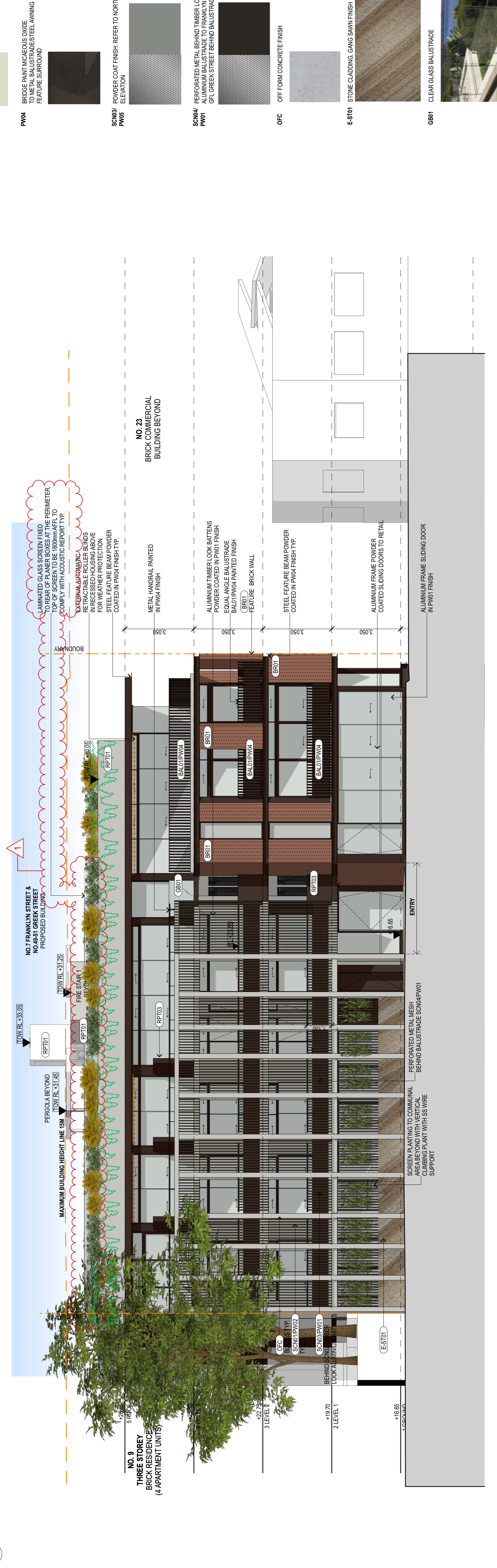
100 mm ACTUAL
IF THE ABOVE DIMENSIONS ARE NOT INDICATED OTHERWISE ALL DIMENSIONS (100 mm) EXACTLY. THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

ABBREVIATIONS	
AC	AIR CONDITIONER
AW	AWNING
AWFL	ABOVE FINISHED FLOOR LEVEL
AGR	AGRICULTURAL DRAIN
BO	BOLLARD
BTM	BOTTOM
CC	CONCRETE COLUMN
CJ	CONTROL JOINT
CL	CENTRE LINE METAL FLASHING
CMK	COLORBOND METAL CLIPPING
CS	CHECK ON SITE
CSOS	COMMON WEATHER SYSTEM
CSY	COMMON SYSTEM
EG	EAVES GUTTER
EQ	EQUAL
FC	FIBRE CEMENT CLADDING
FFL	FINISHED FLOOR LEVEL
FHR	FIRE RESISTANT
FIP	FIRE INDICATOR PANEL
GC	GARBAGE CHUTE
GD	GARDEN DOWN
HR	HAND RAIL
HW	HOT WATER
MC	METAL CLADDING
MC	METAL SHEETING
NOM	NOMINAL
OPC	OFF FORM CONCRETE
RC	REINFORCED CONCRETE
RL	REDUCED LEVEL
RSM	METAL ROOF SHEETING
RWO	RAIN WATER OUTLET
SC	STEEL COLUMN
SS	STEEL STRUT
SSN	STRUCTURAL SLAB LEVEL
SRZ	STRUCTURAL ROOT ZONE
TAC	FLOOR TACTILE
TBC	TO BE CONFIRMED
TOR	TOP OF RIDGE
TOP	TOP OF FINISH
TOP	TOP OF PARAPET
TOW	TOP OF WALL
TPZ	TREE PROTECTION ZONE
UP	UPPER
US	UNDERSIDE
VB	VILLAGEBOARD LINING

FINISHES LEGEND	
AL	ALUMINIUM
BAL	BALUSTRADE
BR	BRICK
OPC	OFF FORM CONCRETE FINISH
CR	CEMENT RENDER
GB	GLASS BALUSTRADE
BPT	PAINT FINISH
PC	POWDER COATING
SCM	SCREENEXTERNAL STONE CLADDING
EST	EXTERNAL STONE CLADDING



1 EAST ELEVATION
1:100



2 WEST ELEVATION (FRANKLYN STREET)
1:100

NOTE	
1.	Contractor to verify all dimensions on site before any shop drawings or work is commenced.
2.	Any discrepancies between drawings or differing scales or between drawings and site conditions are to be resolved by the architect and engineer in consultation with the client.
3.	Figured dimensions to be taken from site.
4.	Critical dimensions to be taken from site.
5.	Dimensions to be taken in conjunction with the specifications and engineers' drawings.
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REVISION NOTE	
REV	DESCRIPTION
A	ISSUE FOR DEVELOPMENT APPLICATION
B	REVISED ISSUE FOR DEVELOPMENT APPLICATION
C	REVISED ISSUE FOR DEVELOPMENT APPLICATION
D	REVISED ISSUE FOR DEVELOPMENT APPLICATION
E	REVISED ISSUE FOR DEVELOPMENT APPLICATION

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 Nominated Architect Ashkan Mostaghim 8358

CLIENT:
DENWOL HOME PTY LTD &
DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
7 FRANKLYN STREET & 49-51 GREEK ST
GLEBE NSW 2037

NORTH POINT:

PROJECT TITLE:
GREEK STREET BOARDING HOUSE
DEVELOPMENT GLEBE

DRAWING TITLE:
ELEVATIONS EAST & WEST

MO DRAWN BY
AM CHECKED BY

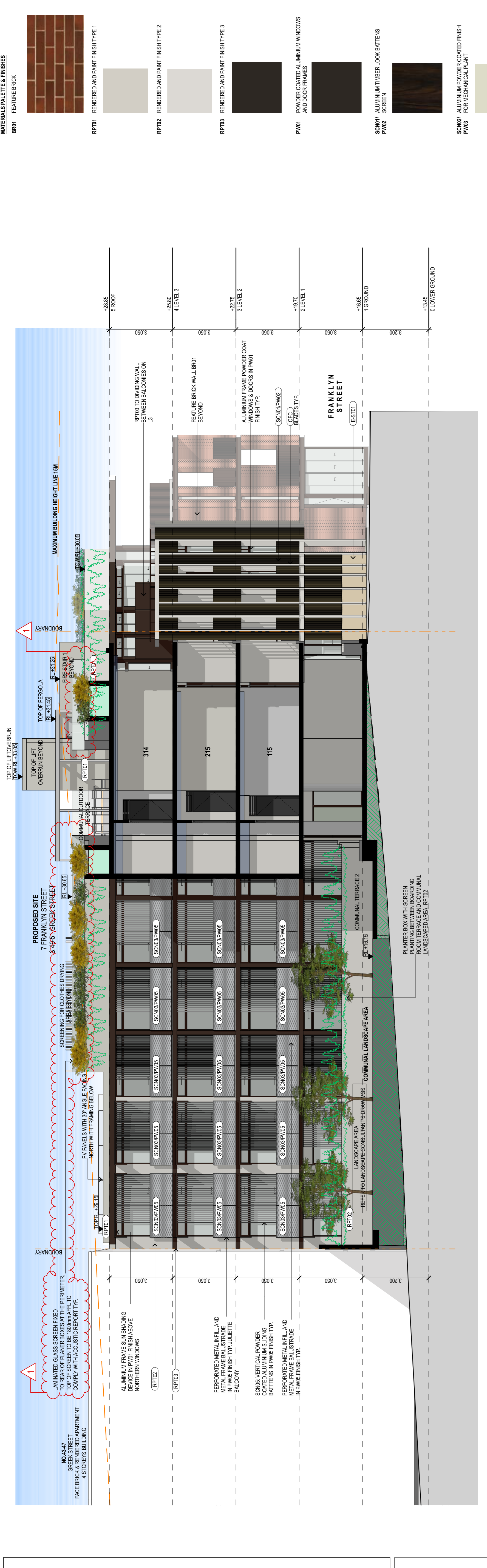
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SCALE: **1:100 @ A1**
PROJECT NUMBER: **21002**

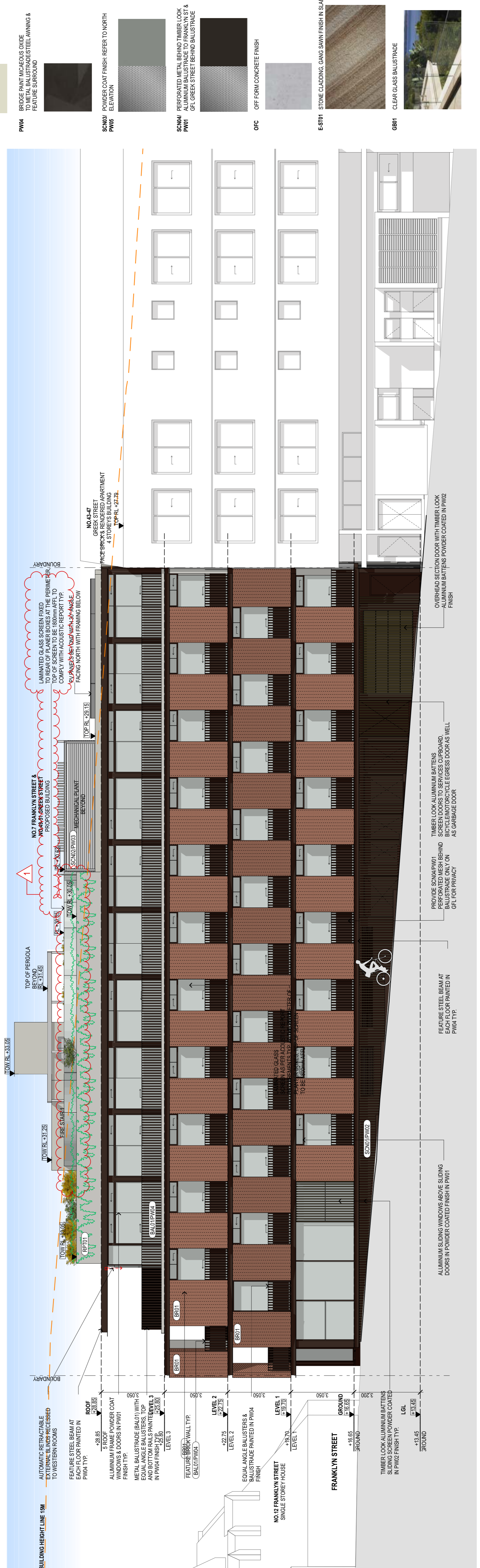
A disc
DA10 sheet / page no.
E revision

GLOBED INDICATIONS:
1. ADD LAMINATED GLAZED SCREEN TO COMPLY WITH ACOUSTIC REPORT. TOP OF SCREEN TO BE 1800mm AFFL.

ABBREVIATIONS	FINISHES LEGEND
AC AIR CONDITIONER	AL ALUMINUM
AW WINDOW	BAL BALUSTRADE
AWN AWNING	BR BRICK
AFLL ABOVE FINISHED FLOOR LEVEL	CC CONCRETE
AGR AGRICULTURAL DRAIN	CCF CERAMIC TILE FINISH
AGR AGRICULTURAL DRAIN	CR CERAMIC RENDER
BO BOLLARD	GB GLASS BALUSTRADE
BTM BOTTOM	PF PAINT FINISH
CC CONCRETE	PC POWDER COATING
CCJ CONCRETE JOINT	SCA EXTERNAL STONE CLADDING
CL CENTRE LINE	
CLK CENTRE LINE METAL FLASHING	
CLS CENTRE LINE SHEETING	
CSOS CHECK ON SITE	
CSOS CHECK ON SITE	
CP COMPARTMENT SYSTEM	
ES EQUAL	
ED EQUAL	
FCL FINISHED FLOOR LEVEL	
FC FIBRE CEMENT CLADDING	
FFR FIRE RESISTANT	
FP FIRE INDICATOR PANEL	
GC GARBAGE CHUTE	
GC GARBAGE CHUTE	
HR HAND RAIL	
HW HOT WATER	
MC METAL CLADDING	
MC METAL CLADDING	
NOM NOMINAL	
OPC OFF FORM CONCRETE	
OPC OFF FORM CONCRETE	
RC REINFORCED CONCRETE	
RL RAINWATER LEAKAGE	
RSM METAL ROOF SHEETING	
RWO RAIN WATER OUTLET	
SC STEEL COLUMN	
SC STEEL COLUMN	
SSA STRUCTURAL SLAB LEVEL	
SZ STRUCTURAL ROOT ZONE	
TAC FLOOR TACTILE	
TAC FLOOR TACTILE	
TBC TO BE CONFIRMED	
TOR TOP OF RIDGE	
TOP TOP OF ROOF	
TOP TOP OF PARAPET	
TOW TOP OF WALL	
TPZ TREE PROTECTION ZONE	
UP UP	
US UNDERSIDE	
VB VILLAGE BOARD LINING	
AL ALUMINUM	
BAL BALUSTRADE	
BR BRICK	
CC CONCRETE	
CCF CERAMIC TILE FINISH	
CR CERAMIC RENDER	
GB GLASS BALUSTRADE	
PF PAINT FINISH	
PC POWDER COATING	
SCA EXTERNAL STONE CLADDING	
EST EXTERNAL STONE CLADDING	



1 NORTH ELEVATION
1:100



2 SOUTH ELEVATION (GREEK STREET)
1:100

NOTE		REVISION NOTE	
1.	Contractor to verify all dimensions on site before any shop drawings or work is commenced.	REV	DATE
2.	Any discrepancies between drawings or differing scales or between drawings and annotations shall be noted to the architect and the architect shall be responsible for resolving any discrepancies or omissions.	BY	DATE
3.	Contractor shall be responsible for ensuring that all dimensions are taken from the same datum.	DESCRIPTION	
4.	Contractor shall be responsible for ensuring that all dimensions are taken from the same datum.		
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Nominated Architect Ashkan Mostaghim 8358

PROJECT TITLE
GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE

CLIENT
DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS
7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037

PROJECT NUMBER
21002

SCALE
1:100 @ A1

CHECKED BY
AM

DRAWN BY
MO

100mm ACTUAL
IF THE ABOVE DIMENSIONS DO NOT MATCH THE DIMENSIONS ON THE DRAWING, THE DIMENSIONS ON THE DRAWING SHALL TAKE PRECEDENCE. DIMENSIONS SHALL BE TAKEN FROM THE DIMENSION LINES UNLESS OTHERWISE SPECIFIED.

1 ADD LAMINATED GLAZED SCREEN TO COMPLY WITH ACOUSTIC REPORT. TOP OF SCREEN TO BE 1800mm AFFL.

PROJECT TITLE
ELEVATIONS NORTH & SOUTH

CLIENT
DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS
7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037

PROJECT NUMBER
21002

SCALE
1:100 @ A1

CHECKED BY
AM

DRAWN BY
MO

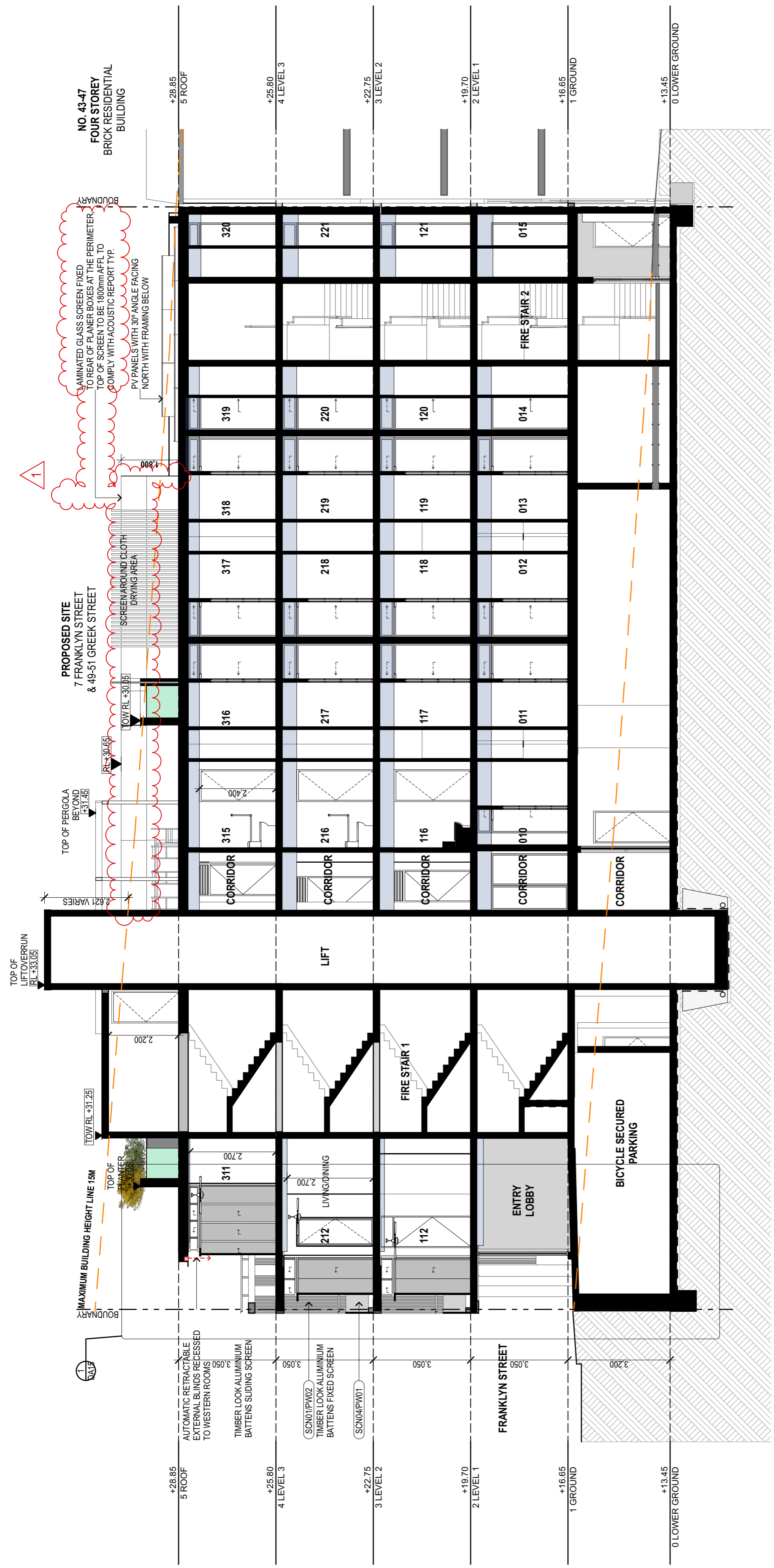
100mm ACTUAL
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1 ADD LAMINATED GLAZED SCREEN TO COMPLY WITH ACOUSTIC REPORT. TOP OF SCREEN TO BE 1800mm AFFL.

ABBREVIATIONS	
AC	AIR CONDITIONER
AW	WIND AWNING
AWFL	ABOVE FINISHED FLOOR LEVEL
AGR	AGRICULTURAL DRAIN
BS	BENCH MARK
BOLLARD	BOLLARD
BTM	BOTTOM
CC	CONCRETE
CJ	CONCRETE COLUMN
CL	CENTRE LINE
CLC	COLORBOND METAL CLIPPING
COS	CHECK ON SITE
CP	COMMON WEATHER SYSTEM
D	DOWN
ED	EQUAL
EG	EVES GUTTER
EL	EQUAL
FCL	FIRE CEILING CLADDING
FLL	FINISHED FLOOR LEVEL
FPH	FIRE PROTECTION PANEL
FIP	FIRE INDICATOR PANEL
GC	GARBASE CHUTE
GR	GARBASE CHUTE DOWN
HR	HAND RAIL
HW	HOT WATER
MC	METAL CLADDING
MCL	METAL CLIPPING
NOM	NOMINAL
OPC	OFF FORM CONCRETE
OPC	OFF FORM CONCRETE
RC	REINFORCED CONCRETE
RL	REDUCED LEVEL
RSM	METAL ROOF SHEETING
RWO	RAIN WATER OUTLET
RWO	RAIN WATER OUTLET
SC	STEEL COLUMN
SS	STEEL SLAB
SSN	STRUCTURAL SLAB LEVEL
SZ	STRUCTURAL ROOT ZONE
TAC	FLOOR TACTILE
TBC	TO BE CONFIRMED
TOR	TOP OF RIDGE
TOP	TOP OF PART
TOW	TOP OF WALL
TPZ	TREE PROTECTION ZONE
US	UNDERSIDE
VB	VILLAGE BOARD LINING

FINISHES LEGEND	
AL	ALUMINIUM BALUSTRADE
BAL	BALUSTRADE
BR	BRICK
CC	CONCRETE FINISH
CR	CEMENT RENDER
GB	GLASS BALUSTRADE
GP	PAINT FINISH
PC	POWDER COATING
SCM	SCREEN
EST	EXTERNAL STONE CLADDING

MATERIALS PALETTE & FINISHES	
BR01	FEATURE BRICK
RPT01	RENDERED AND PAINT FINISH TYPE 1
RPT02	RENDERED AND PAINT FINISH TYPE 2
RPT03	RENDERED AND PAINT FINISH TYPE 3
PW01	POWDER COATED ALUMINIUM WINDOWS AND DOOR FRAMES
SCM01	ALUMINIUM TIMBERLOOK BATTENS SCREEN
SCM02	ALUMINIUM POWDER COATED FINISH FOR MECHANICAL PLANT
PM04	BRIDGE PAINT METALLIC OXIDE TO METAL BALUSTRADES STEEL AWNING & FEATURE SURROUND
SCM05	POWDER COAT FINISH REFER TO NORTH ELEVATION
SCM06	PERFORATED METAL BEHIND TIMBER LOOK ALUMINIUM BALUSTRADE TO FRANKLYN ST & GY GREEK STREET BEHIND BALUSTRADE
OPC	OFF FORM CONCRETE FINISH
E-S01	STONE CLADDING GANG SWAIN FINISH IN SLAB
GB01	CLEAR GLASS BALUSTRADE



SECTION A-A
1:100

SECTION B-B
1:100

NOTE	
1.	Contractor to verify all dimensions on site before any shop drawings or work is commenced.
2.	Any discrepancies between drawings or differing scales or between drawings and specifications are to be noted to the supervisor and the architect or draftsman as appropriate to be rectified to supersede and/or the drawings as applicable.
3.	Revised dimensions to be taken from site.
4.	Critical dimensions to be taken from site.
5.	Dimensions to be taken from drawings.

REVISION NOTE	
REV	DESCRIPTION
P1	ISSUE FOR COORDINATION
P2	ISSUE FOR COORDINATION
A	ISSUE FOR DEVELOPMENT APPLICATION
B	ISSUE FOR DEVELOPMENT APPLICATION
C	ISSUE FOR DEVELOPMENT APPLICATION
D	ISSUE FOR DEVELOPMENT APPLICATION
E	ISSUE FOR DEVELOPMENT APPLICATION

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Nominated Architect Ashkan Mostaghim 8358

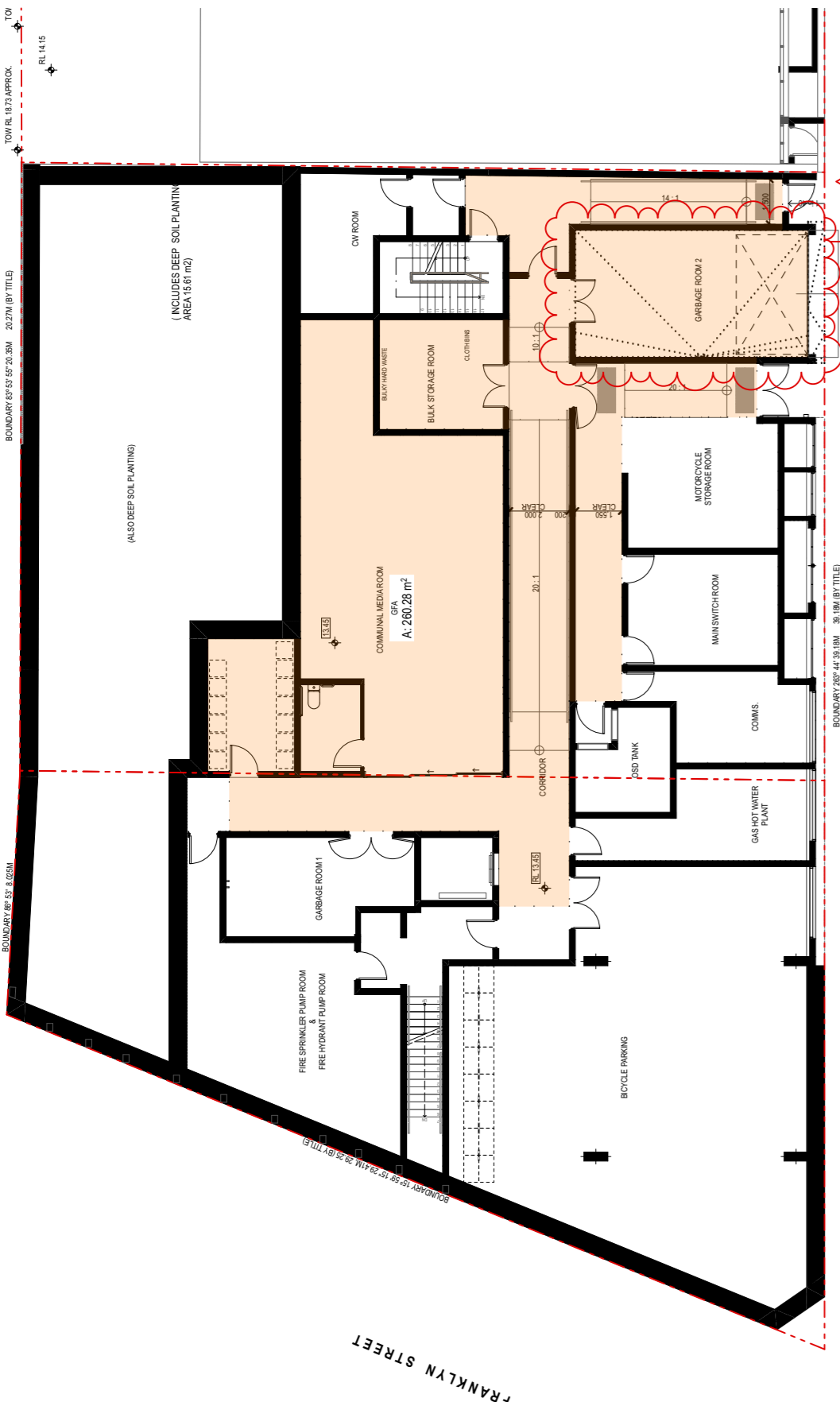
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DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD	
49-51 GREEK ST GLEBE NSW 2037	
PROJECT ADDRESS:	
7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037	

PROJECT TITLE:	
GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE	

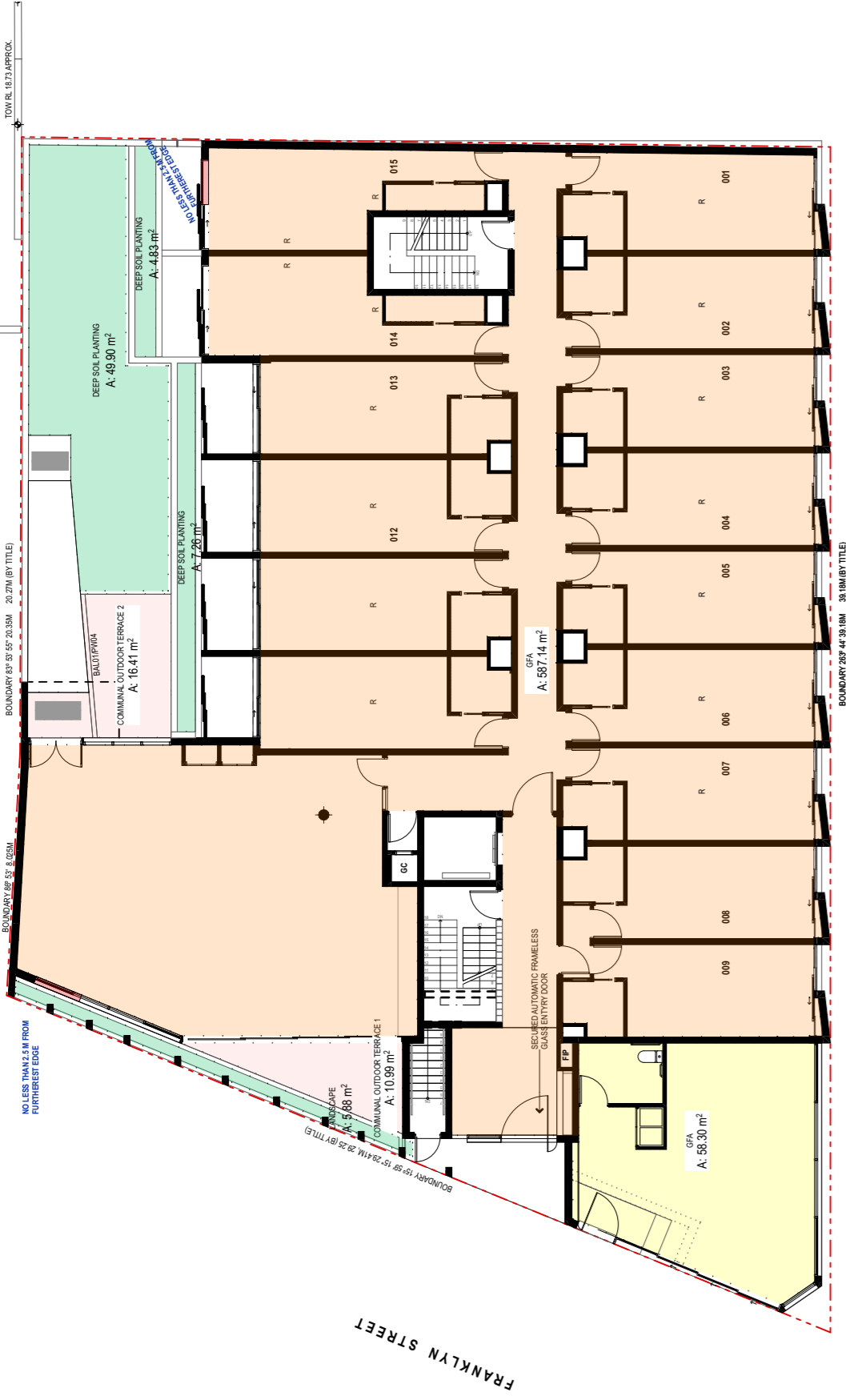
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DRAWN BY:	
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SCALE:	
1:100 @ A1	
PROJECT NUMBER:	
21002	
DRAWING NUMBER:	
DA12	
REVISION:	
E	

GLOBAL INDICATIONS:
1. ADD LAMINATED GLAZED SCREEN TO COMPLY WITH ACOUSTIC REPORT. TOP OF SCREEN TO BE 160mm AFDL.



1 LOWER GROUND GFA 1:200



2 GROUND GFA 1:200



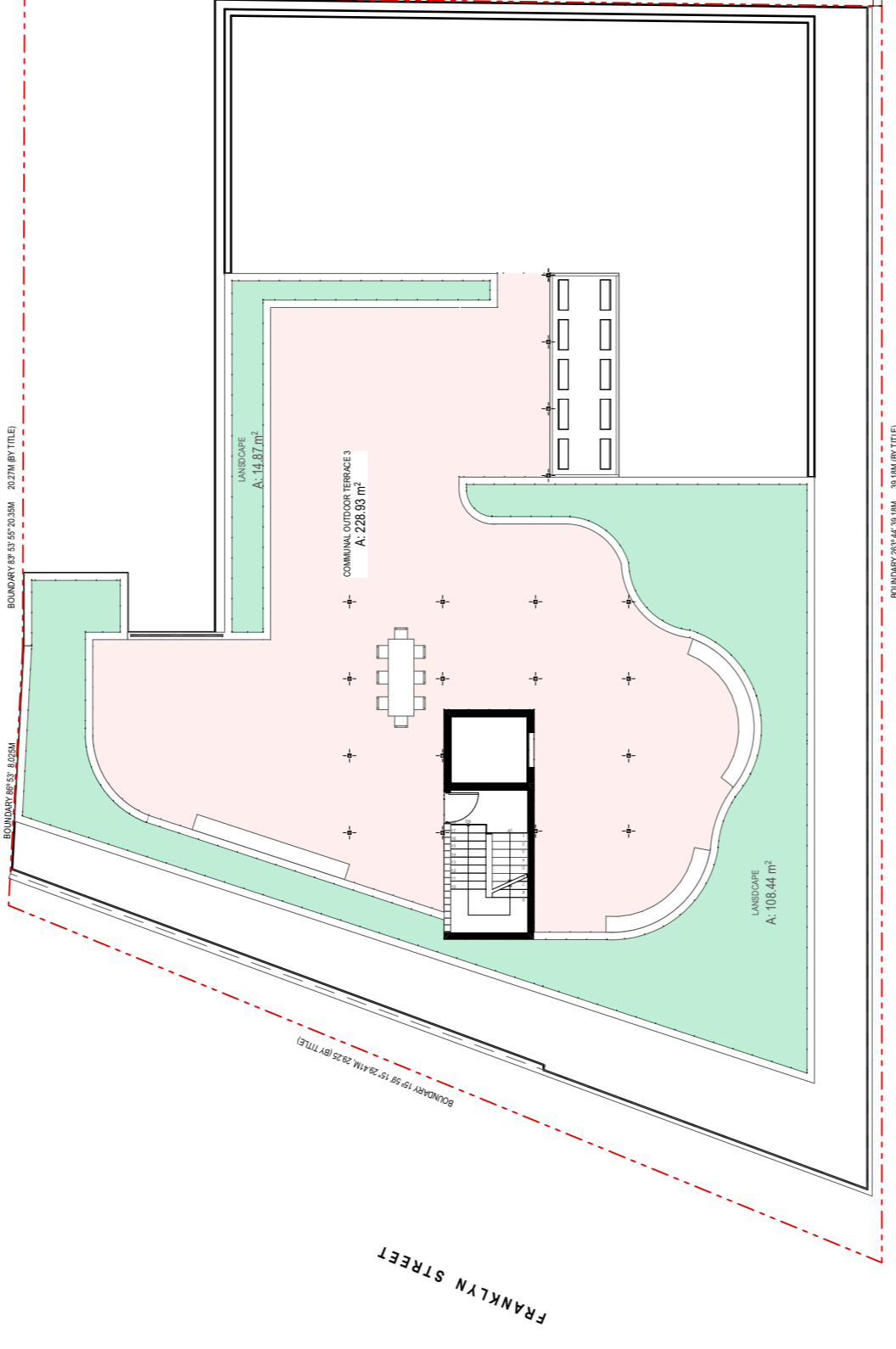
3 LEVEL 1 GFA 1:200



4 LEVEL 2 GFA 1:200



5 LEVEL 3 1:200



6 ROOF PLAN GFA 1:200

Zone Number	Measured Area
GROUND	587
LEVEL 1	656
LEVEL 2	656
LEVEL 3	627
LOWER GROUND	260
RETAIL	58
GFA TOTAL	2,844 m²

SITE AREA 908.06 m²
MAXIMUM PERMITTED FLOOR SPACE RATIO 2.5 + 0.5:1 BONUS AHSEPP
MAXIMUM PERMITTED GROSS FLOOR AREA (2,270.15 m²) + 454.03 m² x 98% BONUS AHSEPP
TOTAL MAXIMUM PERMITTED GROSS FLOOR AREA 2,270.17 m² + 444.95 m² = 2,715.10 m²
PROPOSED FLOOR SPACE RATIO 3.1 : 1
 AREA INCLUDED IN GFA CALCULATIONS

BICYCLE PARKING
 REQUIRED UNDER (AHSEPP): 1 BIKE PER 1 BOARDING ROOMS = 77
 VISITOR 1 BIKE PER 5 BOARDING ROOMS = 15
 TOTAL REQUIRED: 101
 PROPOSED: 101

NO. OF ACCESSIBLE ROOM REQUIRED
 5 ROOMS
NO. OF ADAPTABLE ROOMS REQUIRED
 (15% OF TOTAL NO. OF ROOMS PART 3.1.2 OF SDONET DCP 2012)
 12 ROOMS

COMMUNAL OUTDOOR PAVED AREA
 GROUND = 27.40 m²
 ROOF = 228.93 m²
TOTAL = 256.33 m²

TOTAL NUMBER OF ROOMS
 GFL = 15 ROOMS
 LEVEL 1 = 21 ROOMS
 LEVEL 2 = 21 ROOMS
 LEVEL 3 = 20 ROOMS
TOTAL = 77 ROOMS
 NOTE: MANAGER'S ROOM ON L3 FLOOR LEVEL.

LAUNDRY
 MINIMUM PROPOSED 1 WASHER/DRYER PER 12 RESIDENTS = 22.58
 13 W/Ms, 13 DRYERS (154 RESIDENTS)

NUMBER OF BOARDING ROOM PER BUILDING
 TOTAL NUMBER OF OCCUPANCY: 77 BOARDING ROOMS (154 RESIDENTS) (INCLUDING MANAGER'S ROOM) (EACH ROOM HAS A DOUBLE OCCUPANCY)

PRIVATE OPEN SPACE
 As per AHSEPP C19 (2): (d) private open space: if at least the following private open space areas are provided (other than the front setback area):
 (i) one area of at least 20 square metres with a minimum dimension of 3 metres is provided for the use of the lodgers,
 (ii) if accommodation is provided on site for a boarding house manager—one area of at least 8 square metres with a minimum dimension of 2.5 metres is provided adjacent to that accommodation

DEEP SOIL PLANTING
 PROPOSED 447.49 + 164.67 (Balcony Areas of Boarding Rooms) = 612.16 m²

CAR PARKING (Under AHSEPP)
 MINIMUM PROPOSED 0.5 / ROOM = 39
MOTORCYCLE (Under AHSEPP)
 MINIMUM PROPOSED 1 / 5 ROOMS = 15.4

LANDSCAPE
 REQUIRED: 50% OF COMMUNAL OUTDOOR OPEN SPACE (TO BE SOFT AND POROUS SURFACES) = 223.75 m²
 (447.49 m² x 50%)
 OUTDOOR TERRACE AREAS = 27.40 + 228.93 m² = 256.33 m²
 DEEP SOIL PLANTING = 61.96 m²
 LANDSCAPING AREAS PROPOSED = 61.99 + 5.88 + 123.21 m² = 191.18 m² (86%)
DEEP SOIL PLANTING
 REQUIRED: 90.81 m² (10% of Site Area DCP 4.2.3.6)
 PROPOSED 61.99 m² (86%)
COMMUNAL INDOOR LIVING AREA (DCP 4.4.1.4)
 - Communal living area of 1.25m² per resident is required under SDOP 2012 section 4.4.1.4
 REQUIRED: 1.25 x 154 (77x2) RESIDENTS = 192.5 m²
 PROPOSED: 81.16 m² (LG) + 110.95 (GFL) = 192.11 m²

NOTE
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 2. Any discrepancies between drawings of differing scales or between drawings and site conditions are to be resolved by the architect or engineer. The architect or engineer's drawings shall prevail over any other drawings.
 3. Figured dimensions to be taken in preference to scaled dimensions.
 4. Critical dimensions to be taken from site.
 5. This drawing is to be read in conjunction with the specifications and engineers' drawings.
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REV	DATE	BY	DESCRIPTION
P1	26/4/21		ISSUE FOR COORDINATION
A	24/8/21		ISSUE FOR DEVELOPMENT APPLICATION
B	29/11/21		REVISED ISSUE FOR DEVELOPMENT APPLICATION
C	30/11/21		REVISED ISSUE FOR DEVELOPMENT APPLICATION
D	8/2/22		REVISED ISSUE FOR DEVELOPMENT APPLICATION

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REVISION NOTE

PROJECT TITLE
 GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE

CLIENT
 DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
 49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS
 7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037

PROJECT NUMBER
 21002

SCALE
 1:200 @ A1

CREATED BY
 AM

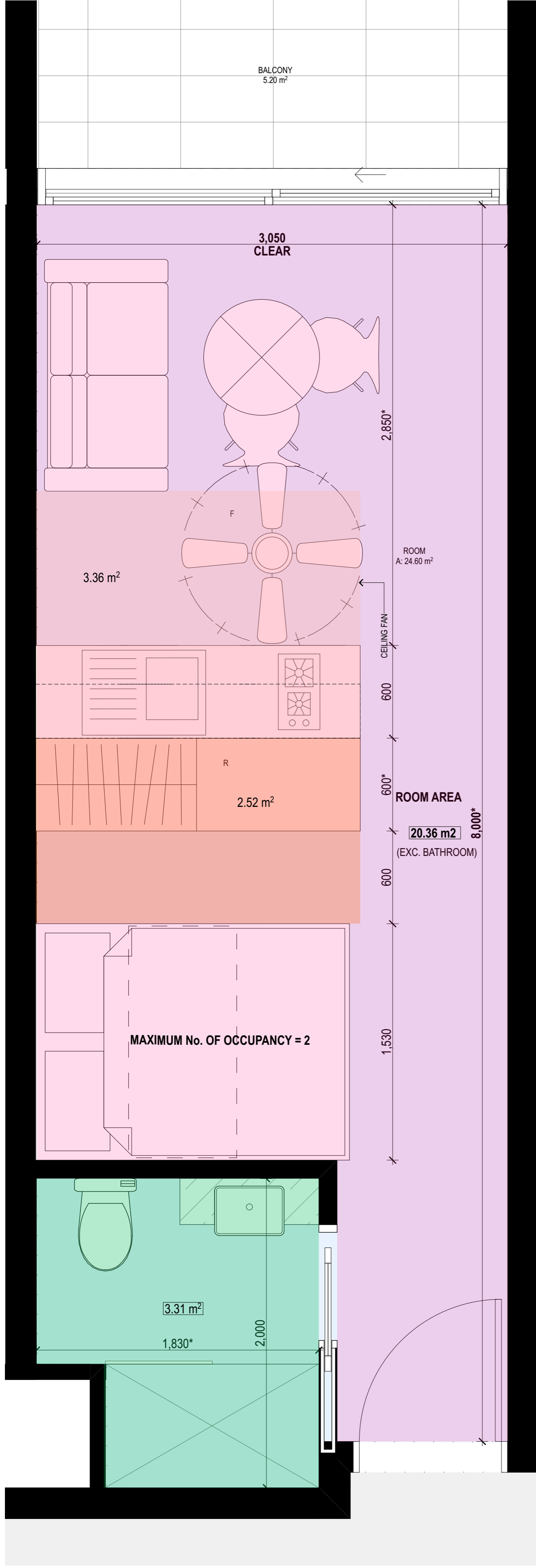
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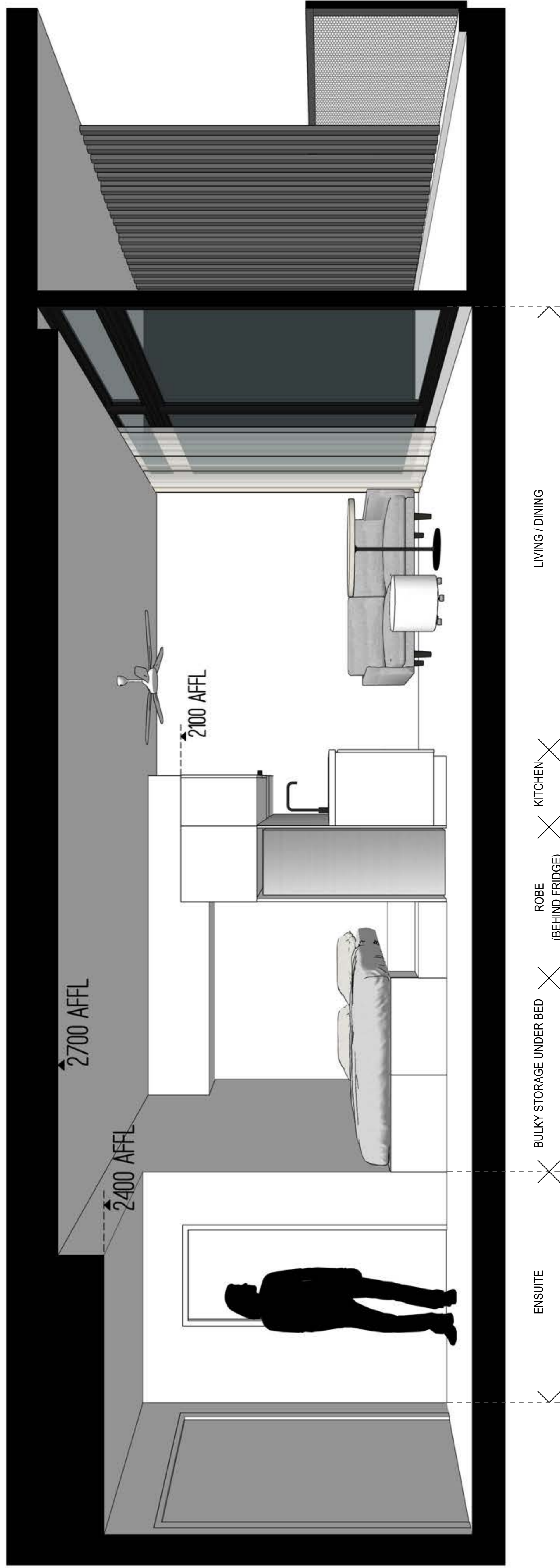
CLOURED MODIFICATIONS:
 1. INCLUDE GARAGE ROOM ZONE AND CALCULATIONS TO REFLECT AMENDMENTS.

DATE
 DAY13

REVISION
 D



1
TYPICAL ROOM LAYOUT PLAN
1:20



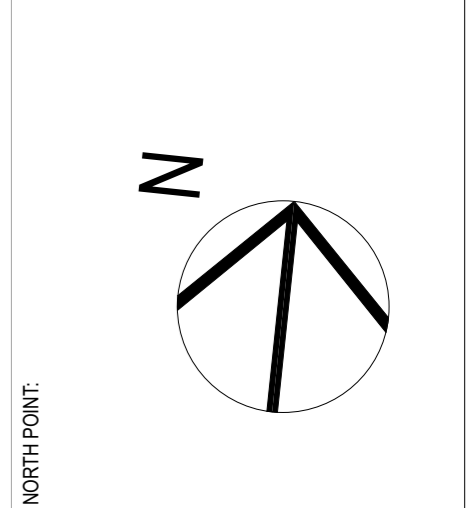
2
TYPICAL ROOM ELEVATIONAL PERSPECTIVE
N.T.S.

NOTE
 1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
 2. Any discrepancies between drawings of differing scales or between drawings and specifications shall be referred to the architect or engineer in writing immediately upon discovery. Dimensions shall be taken in preference to scaled dimensions.
 3. Figured dimensions to be taken in preference to scaled dimensions.
 4. Critical dimensions to be taken from site.
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REV	DESCRIPTION	DATE	BY
A	ISSUE FOR DEVELOPMENT APPLICATION	24/8/21	
B	REVISED ISSUE FOR DEVELOPMENT APPLICATION	30/1/21	

REVISION NOTE

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CLIENT:
 DENWOL HOME PTY LTD &
 DENWOL FRANKLYN PTY LTD
 49-51 GREEK ST GLEBE NSW 2037

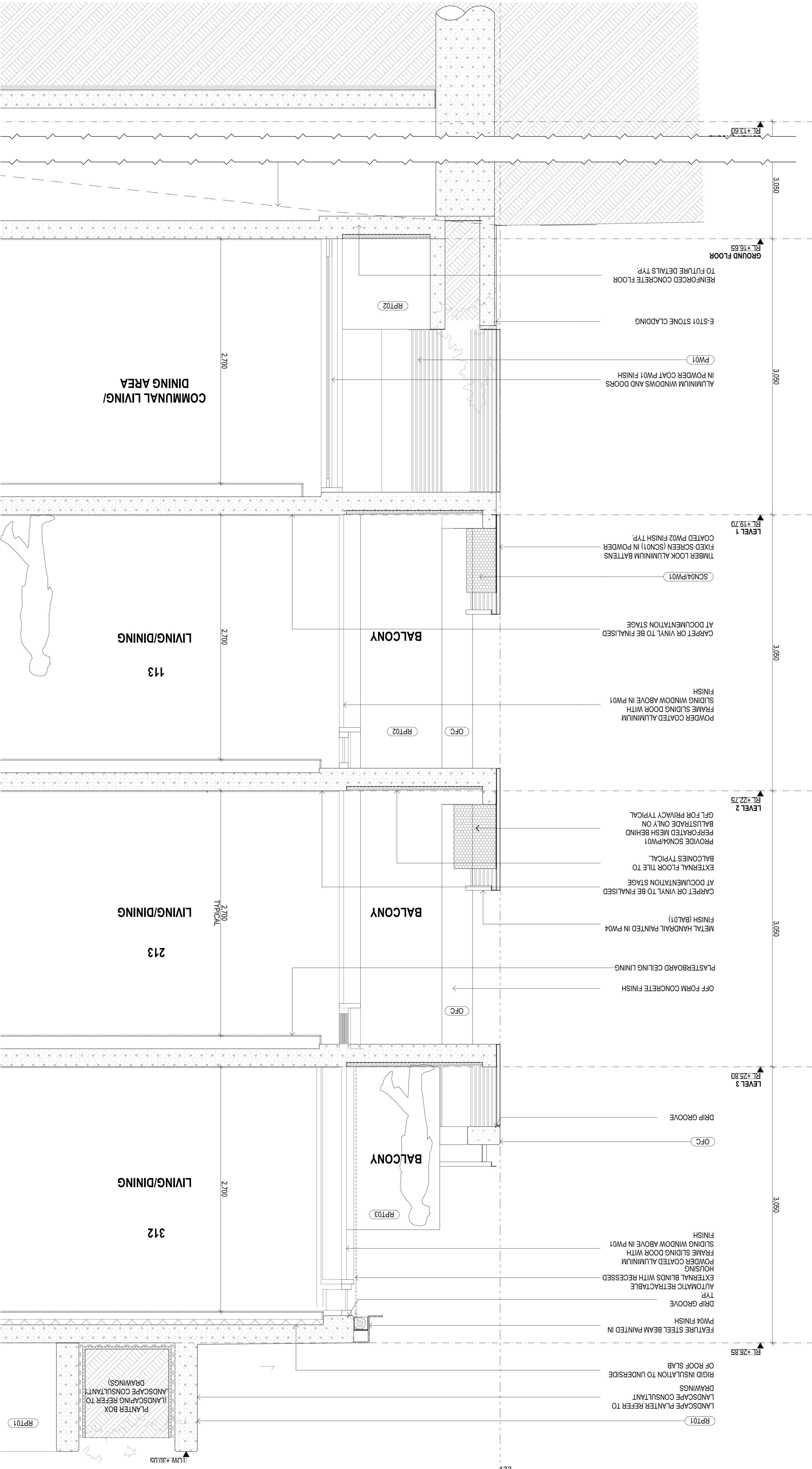
PROJECT ADDRESS:
 7 FRANKLYN STREET & 49-51 GREEK ST
 GLEBE NSW 2037

PROJECT TITLE:
 GREEK STREET BOARDING HOUSE
 DEVELOPMENT GLEBE

DRAWING TITLE:
 TYPICAL ROOM LAYOUT PLAN &
 ELEVATION

DRAWN BY: MO
CHECKED BY: AM
SCALE: 1:20 @ A1
PROJECT NUMBER: 21002
DATE: DA14
REVISION: B

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1 TYPICAL WALL SECTION 1
1:20

NOTE		REVISION NOTE		REVISION NOTE	
REV	DESCRIPTION	DATE	BY	DATE	DESCRIPTION
A	1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.				
B	2. Any discrepancies between drawings of differing scales or between drawings and site conditions are to be noted to the superintendent and the architect or draftsman as appropriate to be resolved in writing. The architect or draftsman is to be taken in preference to scaled dimensions.	24/02/21			
	3. Fitted dimensions to be taken in preference to scaled dimensions.	30/11/21			
	4. Critical dimensions to be taken from site.				
	5. This drawing is to be read in conjunction with the specifications and engineers' drawings.				
	6. This drawing is the copyright of Mostaghim Architects and may not be allowed reproduced or transmitted in any form or by any means, in part or in whole without the prior express written consent of Mostaghim Architects.				

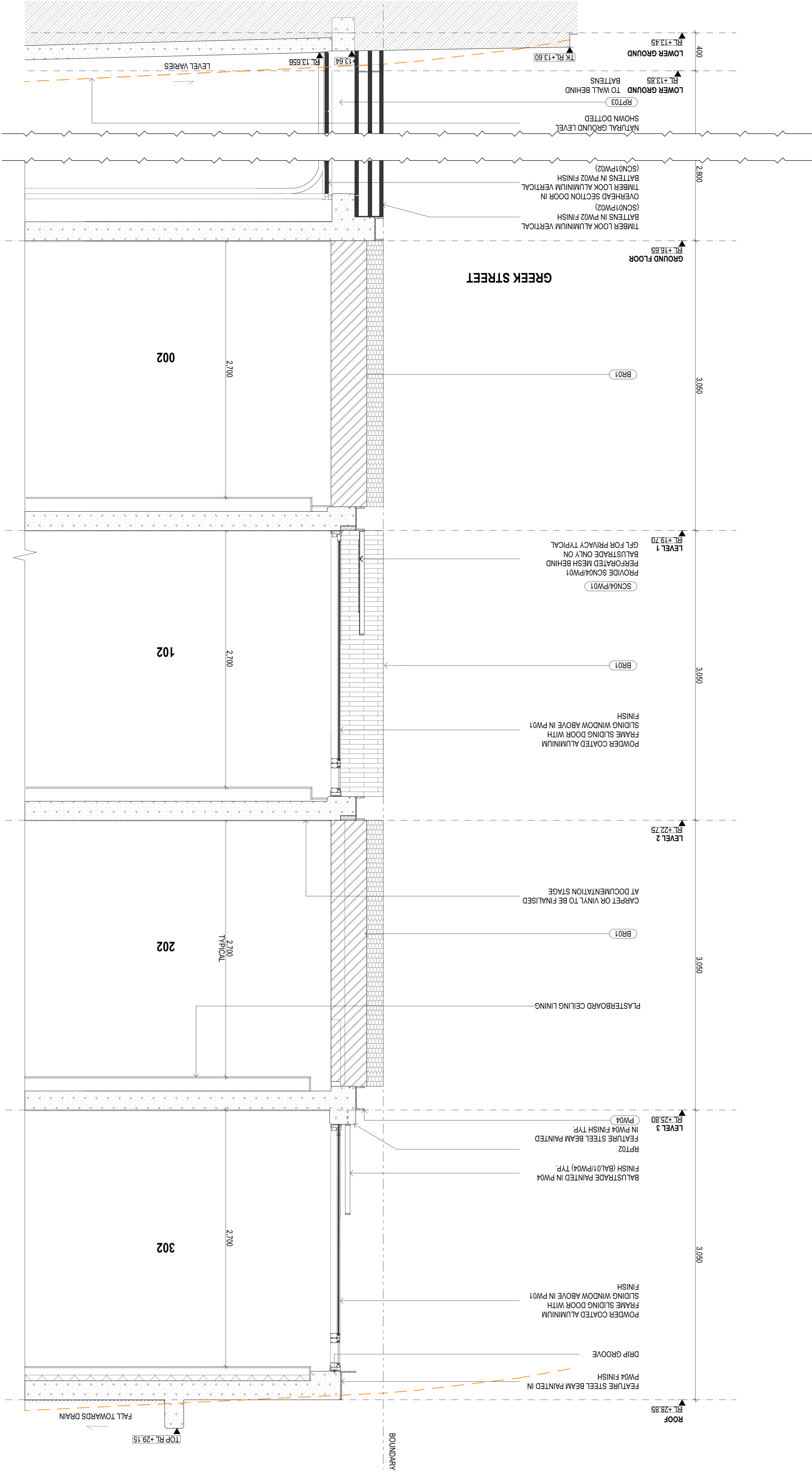
PROJECT TITLE	GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE
CLIENT	DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD 49-51 GREEK ST GLEBE NSW 2037
NORTH POINT	
MOSTAGHIM	
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	Nominated Architect Ashkan Mostaghim 83368

PROJECT TITLE	TYPICAL WALL SECTION 1 SHEET 1
CLIENT	7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037
SCALE	1:20 @ A1
PROJECT NUMBER	21002
DRAWING NUMBER	DA15
DISC	A
REVISION	B

CHECKED BY:	AM
DRAWN BY:	MO
SCALE:	1:20 @ A1
PROJECT NUMBER:	21002
DRAWING NUMBER:	DA15
DISC:	A
REVISION:	B

CLOURED MODIFICATIONS:
1. REVISED TO REFLECT AMENDMENTS.

100 mm ACTUAL
IF THE ABOVE DIMENSIONS ARE SHOWN IN METERS (100 mm EXACTLY), THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.



1 TYPICAL WALL SECTION 2
1:20

CLOURED MODIFICATIONS:
1. REVISED TO REFLECT AMENDMENTS.

NOTE
1. Contractors to verify all dimensions on site before any deep drainage or works is commenced.
2. Any discrepancies between drawings or differing scales or between drawings and site conditions are to be notified to the supervisor and/or the architect or draftsman as soon as possible.
3. Filled dimensions to be taken in preference to scaled dimensions.
4. Critical dimensions to be taken from site.
5. This drawing is to be read in conjunction with the specifications and engineers' drawings.
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REV	DATE	BY	DESCRIPTION
A	24/01/21	AM	ISSUE FOR DEVELOPMENT APPLICATION
B	30/11/21	AM	REVISED ISSUE FOR DEVELOPMENT APPLICATION

REVISION NOTE

REVISION NOTE	DESCRIPTION	DATE	BY

CLIENT:
DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
7 FRANKLYN STREET & 49-51 GREEK ST
GLEBE NSW 2037

PROJECT TITLE:
GREEK STREET BOARDING HOUSE
DEVELOPMENT GLEBE

PROJECT NUMBER:
21002

SCALE:
1:20 @ A1

CHECKED BY:
AM

DRAWN BY:
MO

DISC:
A DA16

REVISION:
B



1 EXISTING SHADOW DIAGRAMS 21st JUNE 9AM
1:200



2 PROPOSED SHADOW DIAGRAM 21st JUNE 9AM
1:200

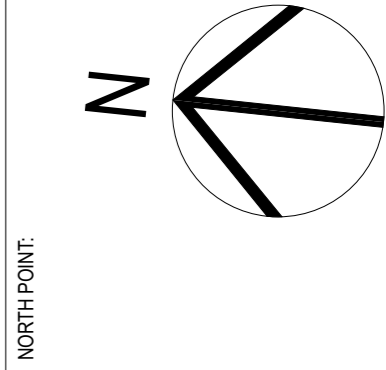
NOTE

1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
 2. Any discrepancies between drawings of differing scales or between drawings and site conditions are to be notified to the supervising architect and/or the supervising engineer as appropriate to be resolved in preference to scaled dimensions.
 3. Figured dimensions to be taken in preference to scaled dimensions.
 4. Critical dimensions to be taken from site.
 5. Drawings are to be read in conjunction with the specifications and engineers' drawings.
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REVISION NOTE

REV	DATE	BY	DESCRIPTION
A	24/02/21		ISSUE FOR DEVELOPMENT APPLICATION
B	30/11/21		REVISED ISSUE FOR DEVELOPMENT APPLICATION

MOSTAGHIM
 a L2, 17 federation rd, Newtown NSW 2042
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 p 02 9557 2002
 Nominated Architect Ashkan Mostaghim 8358



CLIENT:
DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
 49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
 7 FRANKLYN STREET & 49-51 GREEK ST
 GLEBE NSW 2037

PROJECT TITLE:
GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE

DRAWING TITLE:
SHADOW DIAGRAMS 21 JUNE 9AM

CHECKED BY:
AM

DRAWN BY:
MO

SCALE:
1:100 @ A1

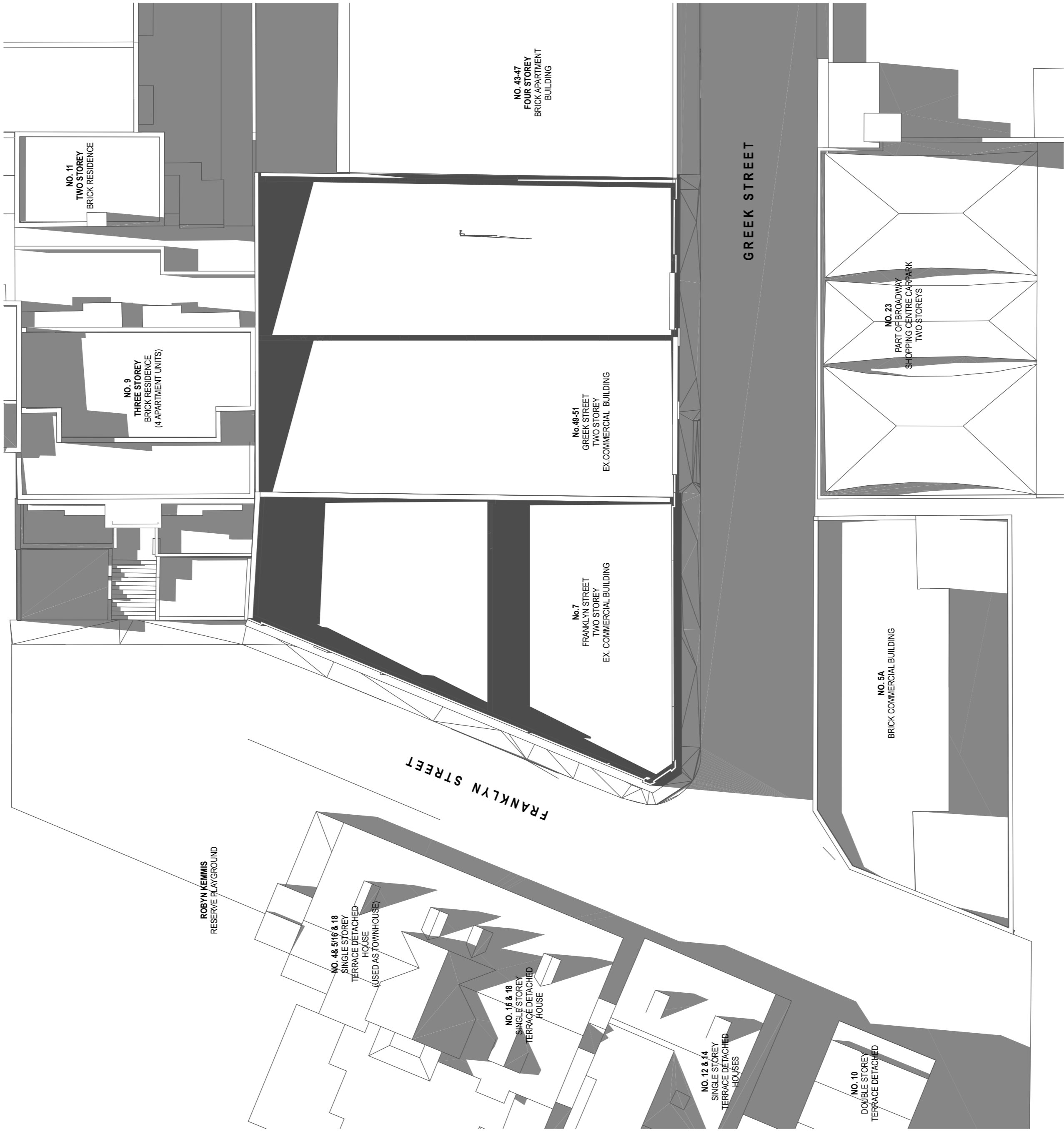
PROJECT NUMBER:
21002

DATE:
DA17

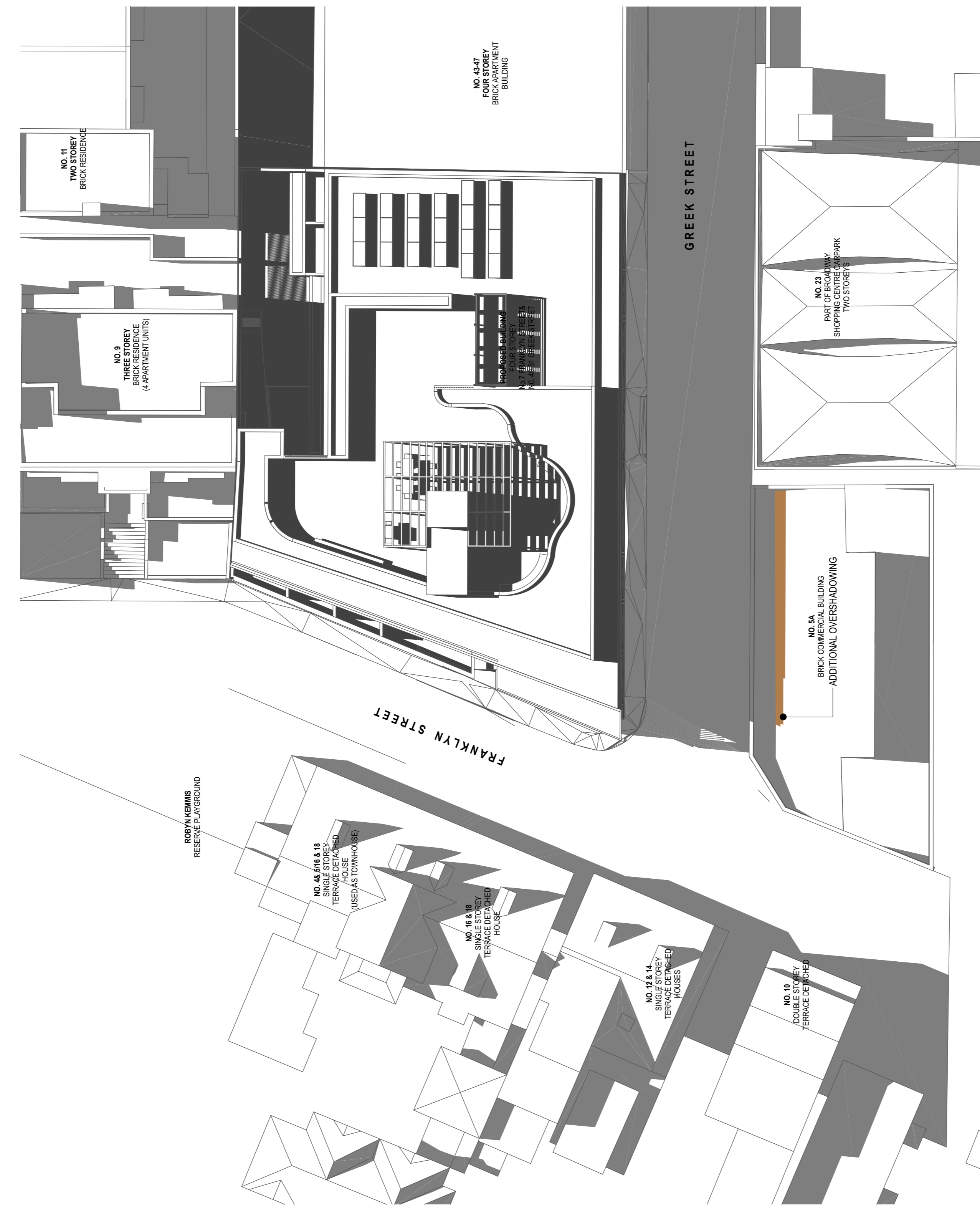
REVISION:
B

1. REVISED TO REFLECT AMENDMENTS.

100 mm ACTUAL
 IF THE ABOVE DIMENSIONS DO NOT MATCH THE DIMENSIONS ON THE DRAWING (100 mm EXACTLY), THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.



1 EXISTING SHADOW DIAGRAMS 21st JUNE 12PM
1:200



2 PROPOSED SHADOW DIAGRAM 21st JUNE 12PM
1:200

NOTE

1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
2. Any discrepancies between drawings or differing scales or between drawings and site conditions are to be notified to the architect and/or the engineer immediately.
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4. Critical dimensions to be taken from site.
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REV	DESCRIPTION	DATE	BY
A	ISSUE FOR DEVELOPMENT APPLICATION	24/02/21	
B	REVISED ISSUE FOR DEVELOPMENT APPLICATION	30/11/21	

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 p 02 9557 2002

Nominated Architect Ashkan Mostaghim 8358

CLIENT:
 DENWOL HOME PTY LTD &
 DENWOL FRANKLYN PTY LTD
 49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
 7 FRANKLYN STREET & 49-51 GREEK ST
 GLEBE NSW 2037

PROJECT TITLE:
 GREEK STREET BOARDING HOUSE
 DEVELOPMENT GLEBE

DRAWING TITLE:
 SHADOW DIAGRAMS 21 JUNE 12PM

CHECKED BY:
 AM

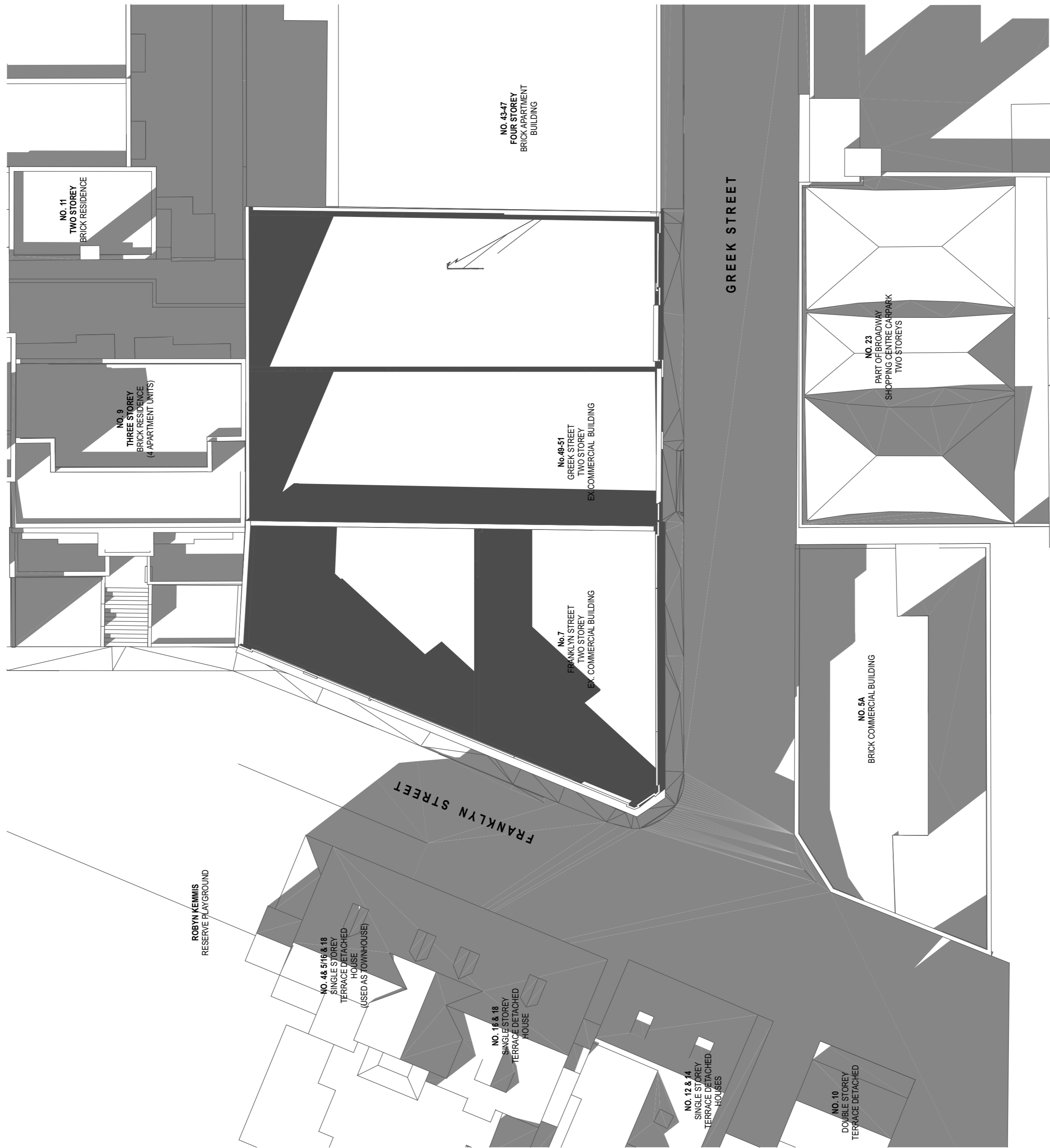
DRAWN BY:
 MO

SCALE:
 100 mm ACTUAL
 IF THE ABOVE DIMENSIONS DO NOT MATCH THE DIMENSIONS ON THE DRAWING, THE DIMENSIONS ON THE DRAWING WILL HAVE BEEN ENLARGED OR REDUCED.
 (100 mm EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.)

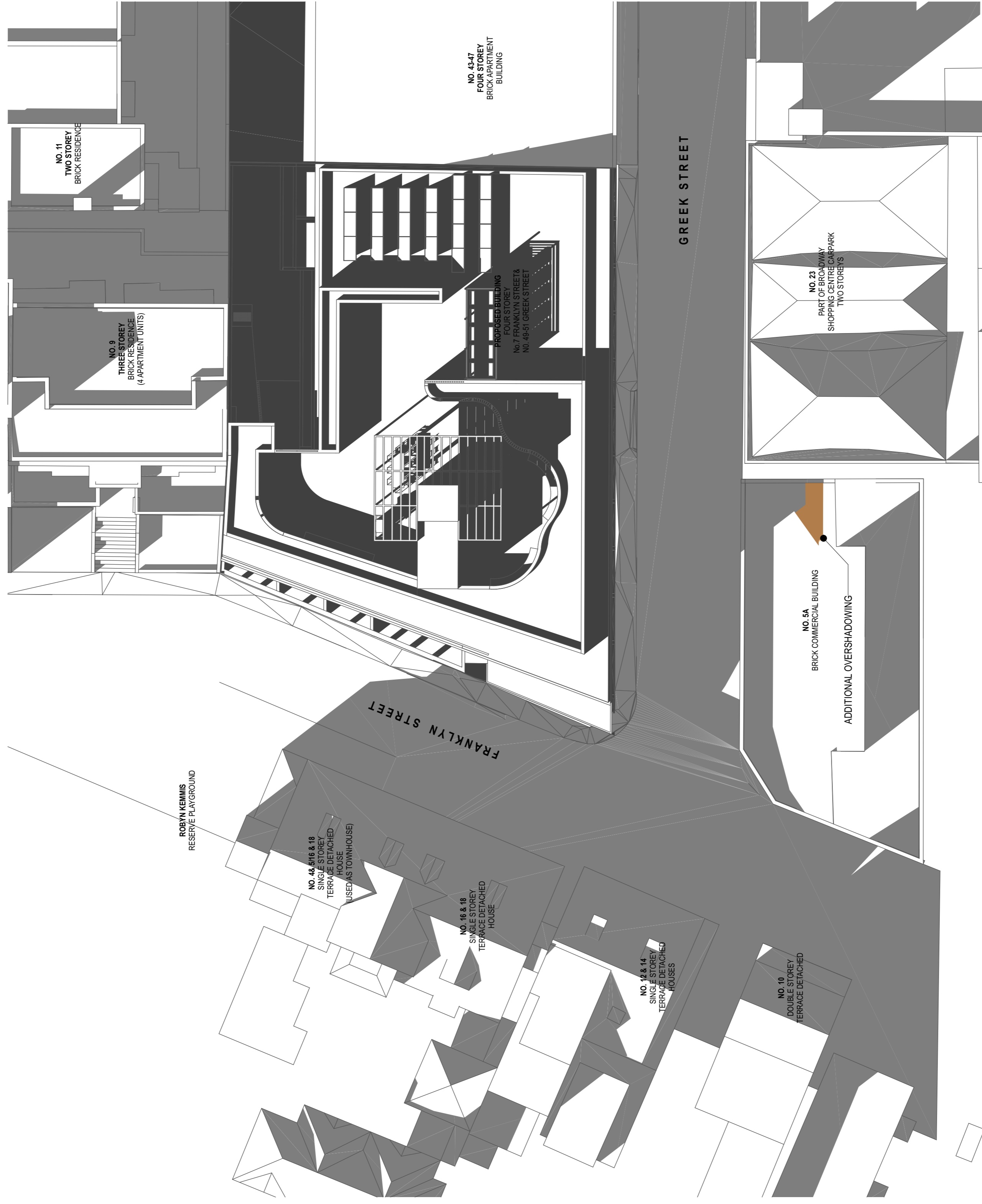
PROJECT NUMBER:
 21002

DATE:
 DA18

REVISION:
 A disc
 B revision



1 EXISTING SHADOW DIAGRAMS 21st JUNE 3PM
1:200



2 PROPOSED SHADOW DIAGRAM 21st JUNE 3PM
1:200

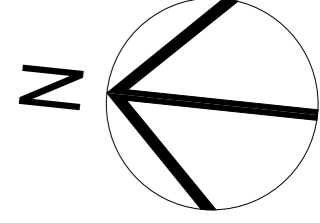
NOTE

1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
 2. Any discrepancies between drawings of differing scales or between drawings and site conditions are to be noted to the architect and the architect's approval is to be obtained before any work commences.
 3. Fitted dimensions to be taken in preference to scaled dimensions.
 4. Critical dimensions to be taken from site.
 5. This drawing is to be read in conjunction with the specifications and engineers' drawings.
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REVISION NOTE

REV	DATE	BY	DESCRIPTION
A	24/02/21		ISSUE FOR DEVELOPMENT APPLICATION
B	30/11/21		REVISED ISSUE FOR DEVELOPMENT APPLICATION

NORTH POINT



CLIENT:
DENWOL HOME PTY LTD &
DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
7 FRANKLYN STREET & 49-51 GREEK ST
GLEBE NSW 2037

PROJECT TITLE:
GREEK STREET BOARDING HOUSE
DEVELOPMENT GLEBE

DRAWING TITLE:
SHADOW DIAGRAMS 21 JUNE 3PM

CHECKED BY:
AM

DRAWN BY:
MO

SCALE:
100 mm ACTUAL
IF THE ABOVE DIMENSIONS DO NOT MATCH THE DIMENSIONS ON THE DRAWING (100 mm EXACTLY), THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

PROJECT NUMBER:
21002

revision:
A DA19
B

1. REVISED TO REFLECT AMENDMENTS.



CORNER OF FRANKLYN & GREEK STREET PERSPECTIVE IMAGE
CO-ARTIST: INBRIGATE GRAPHICS

NOTE

1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
2. Any discrepancies between drawings of differing scales or between drawings and site conditions are to be referred to the architect or engineer for resolution. It is the responsibility of the contractor to ensure the drawings are in accordance with the specifications and drawings.
3. Figured dimensions to be taken in preference to scaled dimensions.
4. Critical dimensions to be taken from site.
5. All drawings are to be read in conjunction with the specifications and engineers' drawings.

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REVISION NOTE

REV	DATE	BY	DESCRIPTION	DATE	BY
A	24/02/21		ISSUE FOR DEVELOPMENT APPLICATION		
B	29/11/21		REVISED ISSUE FOR DEVELOPMENT APPLICATION		
C	30/11/21		REVISED ISSUE FOR DEVELOPMENT APPLICATION		
D	11/02/22		REVISED ISSUE FOR DEVELOPMENT APPLICATION		

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p 02 9557 2002
Nominated Architect Ashkan Mostaghim 83368

CLIENT:
DENWOL-HOME PTY LTD &
DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037
PROJECT ADDRESS:
7 FRANKLYN STREET & 49-51 GREEK ST
GLEBE NSW 2037

PROJECT TITLE:
GREEK STREET BOARDING HOUSE
DEVELOPMENT GLEBE
DRAWING TITLE:
PERSPECTIVES SHEET 1

DRAWN BY: MO
CHECKED BY: AM

SCALE: NTS
PROJECT NUMBER: 21002

100 mm ACTUAL
IF THE ABOVE DIMENSIONS ON DRAWING ARE NOT INDICATED IN METERS (100mm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

A DA20
disc stage / drawing no.

D
revision



GREEK STREET PERSPECTIVE IMAGE
 (©ARTIST NARRATIVE GRAPHICS)

NOTE

1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
 2. Any discrepancies between drawings or differing scales or between drawings and site conditions are to be notified to the architect and/or engineer immediately. The architect or engineer shall be responsible to be notified to the superintendent and/or the architect or engineer immediately.
 3. Figured dimensions to be taken in preference to scaled dimensions.
 4. Critical dimensions to be taken from site.
 5. All drawings are to be read in conjunction with the specifications and engineers' drawings.
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REVISION NOTE

REV	DESCRIPTION	DATE	BY	REV	DESCRIPTION	DATE	BY
A	ISSUE FOR DEVELOPMENT APPLICATION	24/02/21					
B	REVISED ISSUE FOR DEVELOPMENT APPLICATION	29/11/21					
C	REVISED ISSUE FOR DEVELOPMENT APPLICATION	30/11/21					
D	REVISED ISSUE FOR DEVELOPMENT APPLICATION	11/02/22					

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 e info@mostaghim.com.au
 p 02 9557 2002
 Nominated Architect Ashkan Mostaghim 8358

NORTH POINT:

CLIENT:
 DENWOL HOME PTY LTD &
 DENWOL FRANKLYN PTY LTD
 49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
 7 FRANKLYN STREET & 49-51 GREEK ST
 GLEBE NSW 2037

PROJECT TITLE:
 GREEK STREET BOARDING HOUSE
 DEVELOPMENT GLEBE

DRAWING TITLE:
 PERSPECTIVE SHEET 2

DRAWN BY:
 MO

CHECKED BY:
 AM

SCALE:
 NTS

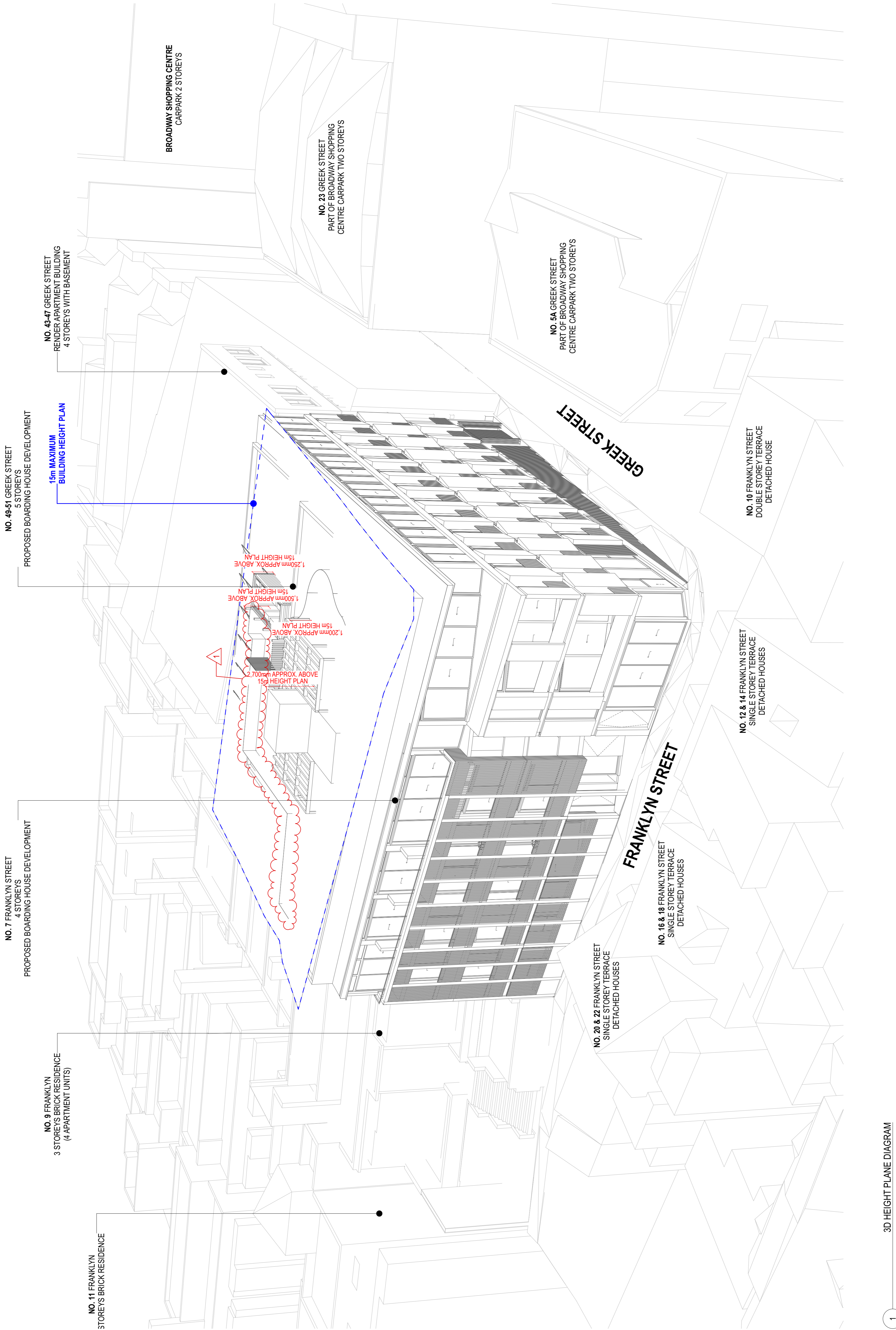
PROJECT NUMBER:
 21002

disc:
 A DA21

stage / dwg no.:
 D

revision:
 D

100 mm ACTUAL
 IF THE ABOVE DIMENSIONS DO NOT MATCH THE DIMENSIONS ON THE DRAWING, THE DIMENSIONS ON THE DRAWING SHALL PREVAIL. THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.



1 3D HEIGHT PLANE DIAGRAM

NOTES

1. Check to verify all dimensions on site before any shop drawings or work is commenced.
2. Any discrepancies between drawings or differing scales or between drawings and the site must be reported immediately to the architect and/or engineer. The architect and/or engineer shall be responsible for the accuracy of the drawings and the site.
3. Figured dimensions to be taken in preference to scaled dimensions.
4. Critical dimensions to be taken from site.
5. This drawing is to be read in conjunction with the specifications and engineers' drawings.

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REVISION NOTE

REV	DESCRIPTION	DATE	BY
A	REVISED ISSUE FOR DEVELOPMENT APPLICATION	30/11/21	
B	REVISED ISSUE FOR DEVELOPMENT APPLICATION	17/2/22	

REVISION NOTE

REV	DESCRIPTION	DATE	BY

REVISION NOTE

REV	DESCRIPTION	DATE	BY

PROJECT TITLE
GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE

CLIENT
DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

CUSTOMER ADDRESS
7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037

PROJECT NUMBER
21002

SCALE
A disc
B revision

PROJECT TITLE
GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE

CLIENT
DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

CUSTOMER ADDRESS
7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037

PROJECT NUMBER
21002

SCALE
A disc
B revision

PROJECT TITLE
GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE

CLIENT
DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

CUSTOMER ADDRESS
7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037

PROJECT NUMBER
21002

SCALE
A disc
B revision

PROJECT TITLE
GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE

CLIENT
DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

CUSTOMER ADDRESS
7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037

PROJECT NUMBER
21002

SCALE
A disc
B revision

PROJECT TITLE
GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE

CLIENT
DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

CUSTOMER ADDRESS
7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037

PROJECT NUMBER
21002

SCALE
A disc
B revision

PROJECT TITLE
GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE

CLIENT
DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

CUSTOMER ADDRESS
7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037

PROJECT NUMBER
21002

SCALE
A disc
B revision

REVISION NOTE

REV	DESCRIPTION	DATE	BY

REVISION NOTE

REV	DESCRIPTION	DATE	BY

REVISION NOTE

REV	DESCRIPTION	DATE	BY

REVISION NOTE

REV	DESCRIPTION	DATE	BY

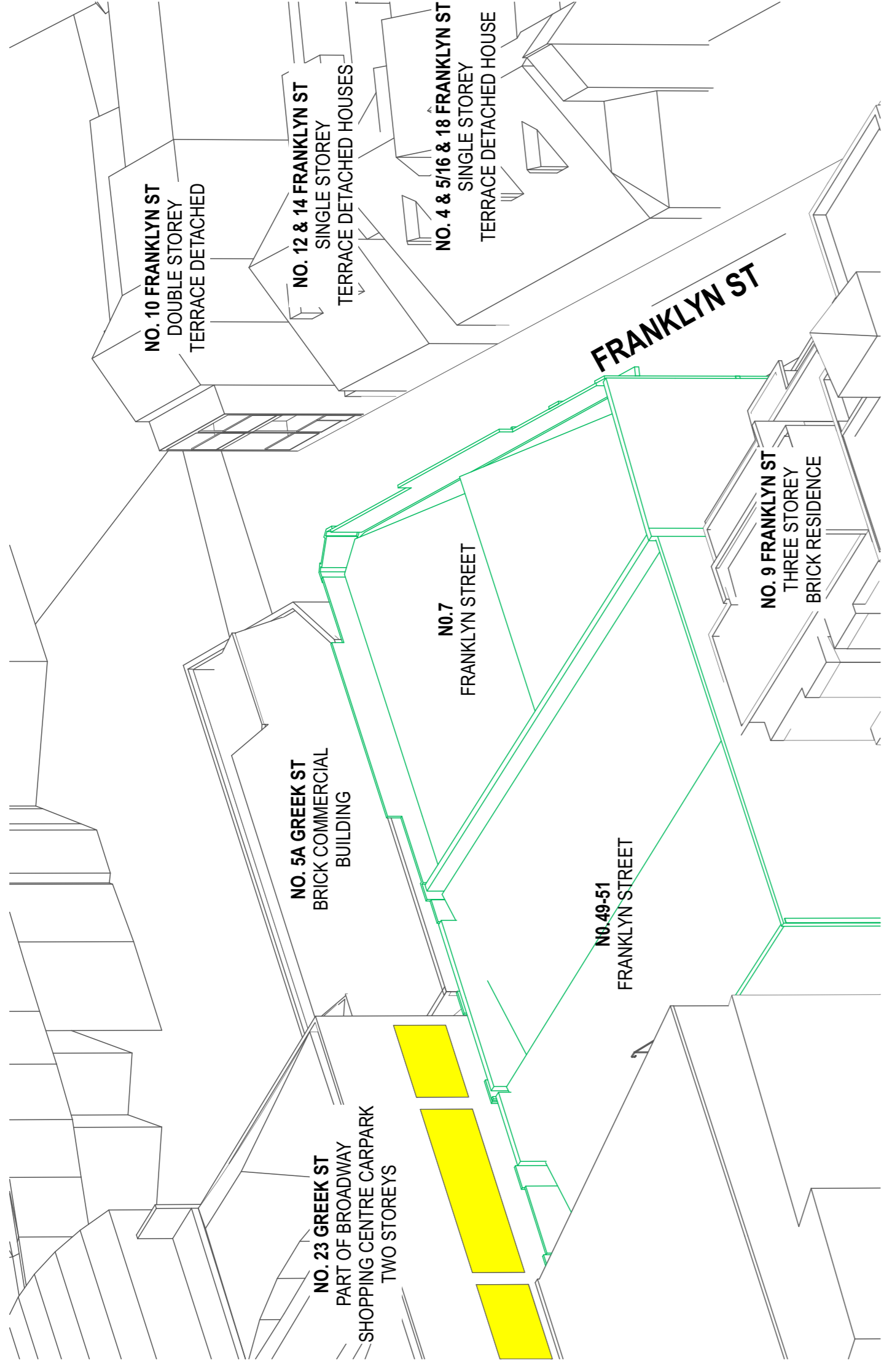
REVISION NOTE

REV	DESCRIPTION	DATE	BY

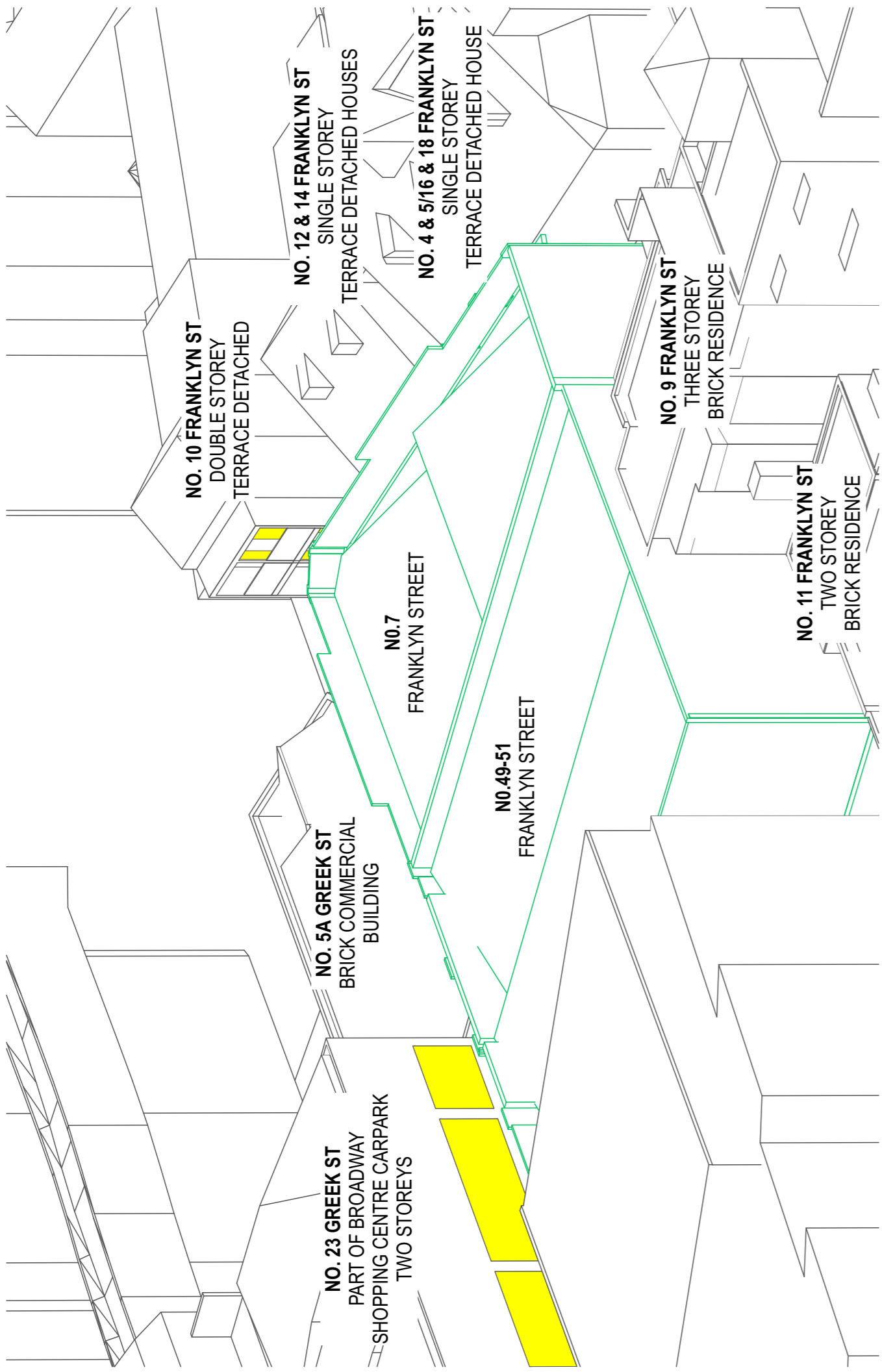
LEGEND

PROPOSED SITE

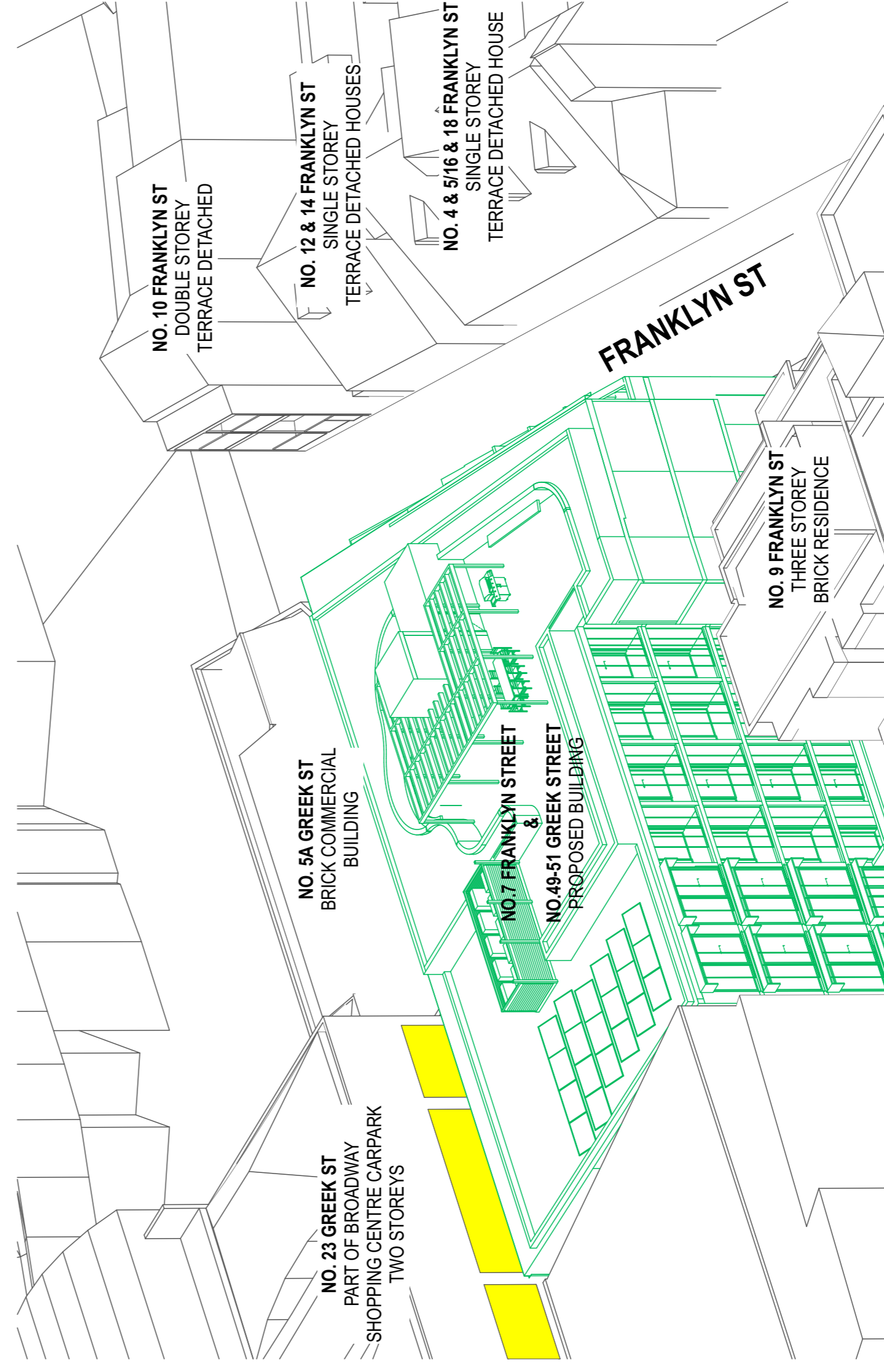
GLAZED WINDOWS AND DOORS OF NEIGHBOURING BUILDINGS SHADED FOR CLARITY



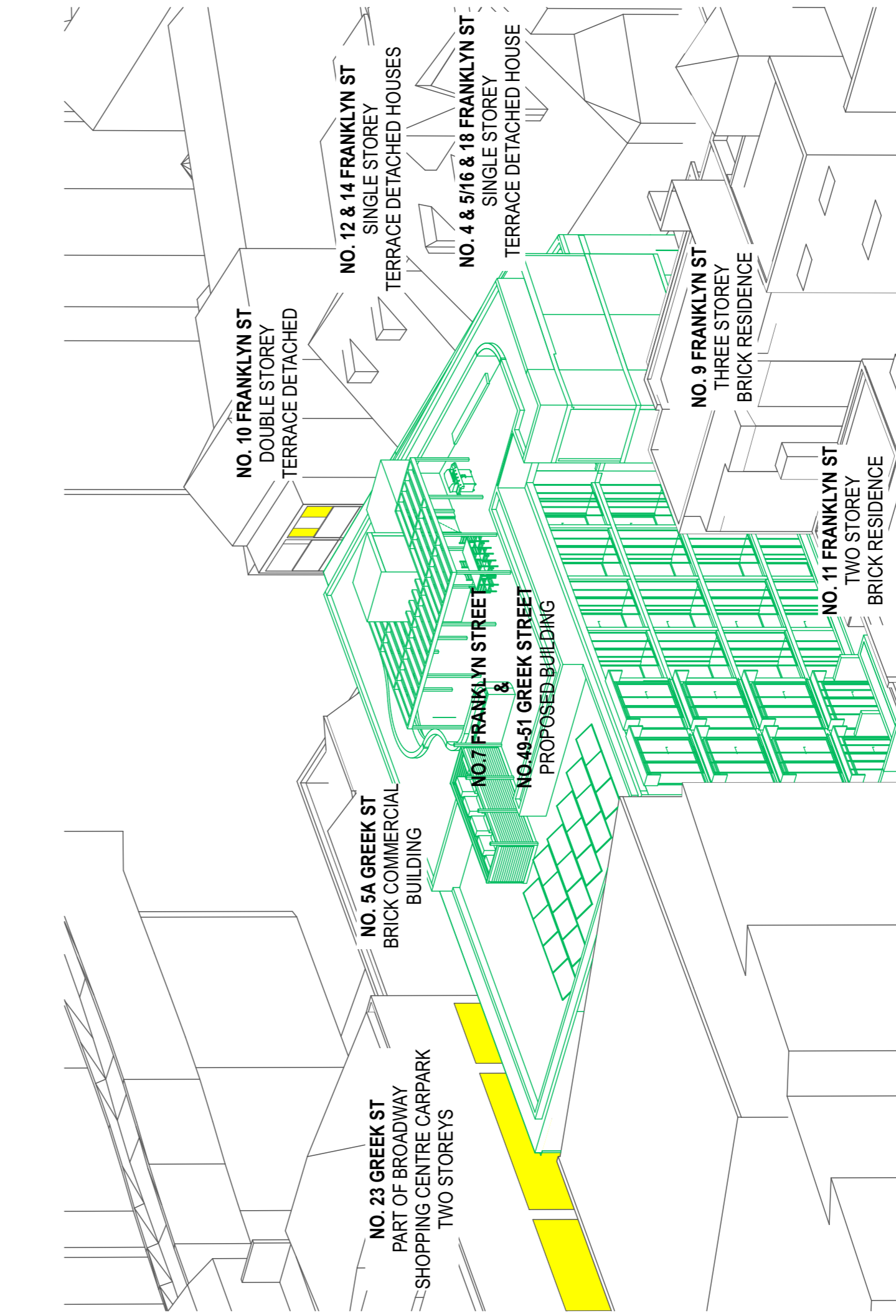
1 SUN'S EYE STUDY, JUNE 21 9AM - EXISTING
1:200



2 SUN'S EYE STUDY, JUNE 21 9AM - PROPOSED
1:200



3 SUN'S EYE STUDY, JUNE 21 10AM - EXISTING
1:200



4 SUN'S EYE STUDY, JUNE 21 10AM - PROPOSED
1:200

NOTE

- Contractors to verify all dimensions on site before any shop drawings or work is commenced.
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REVISION NOTE		REVISION NOTE	
REV	DESCRIPTION	DATE	BY
A	REVISED ISSUE FOR DEVELOPMENT APPLICATION	30/11/21	

MOSTAGHIM

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w mostaghim.com.au
e info@mostaghim.com.au
p 02 9557 2002

Nominated Architect Ashkan Mostaghim 8358

CLIENT:
DENWOL HOME PTY LTD &
DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
7 FRANKLYN STREET & 49-51 GREEK ST
GLEBE NSW 2037

PROJECT TITLE:
GREEK STREET BOARDING HOUSE
DEVELOPMENT GLEBE

DRAWING TITLE:
SUN'S EYE STUDY 21 JUNE 9AM & 10AM

DRAWN BY:
MO

CHECKED BY:
AM

SCALE:
1:200

PROJECT NUMBER:
21002

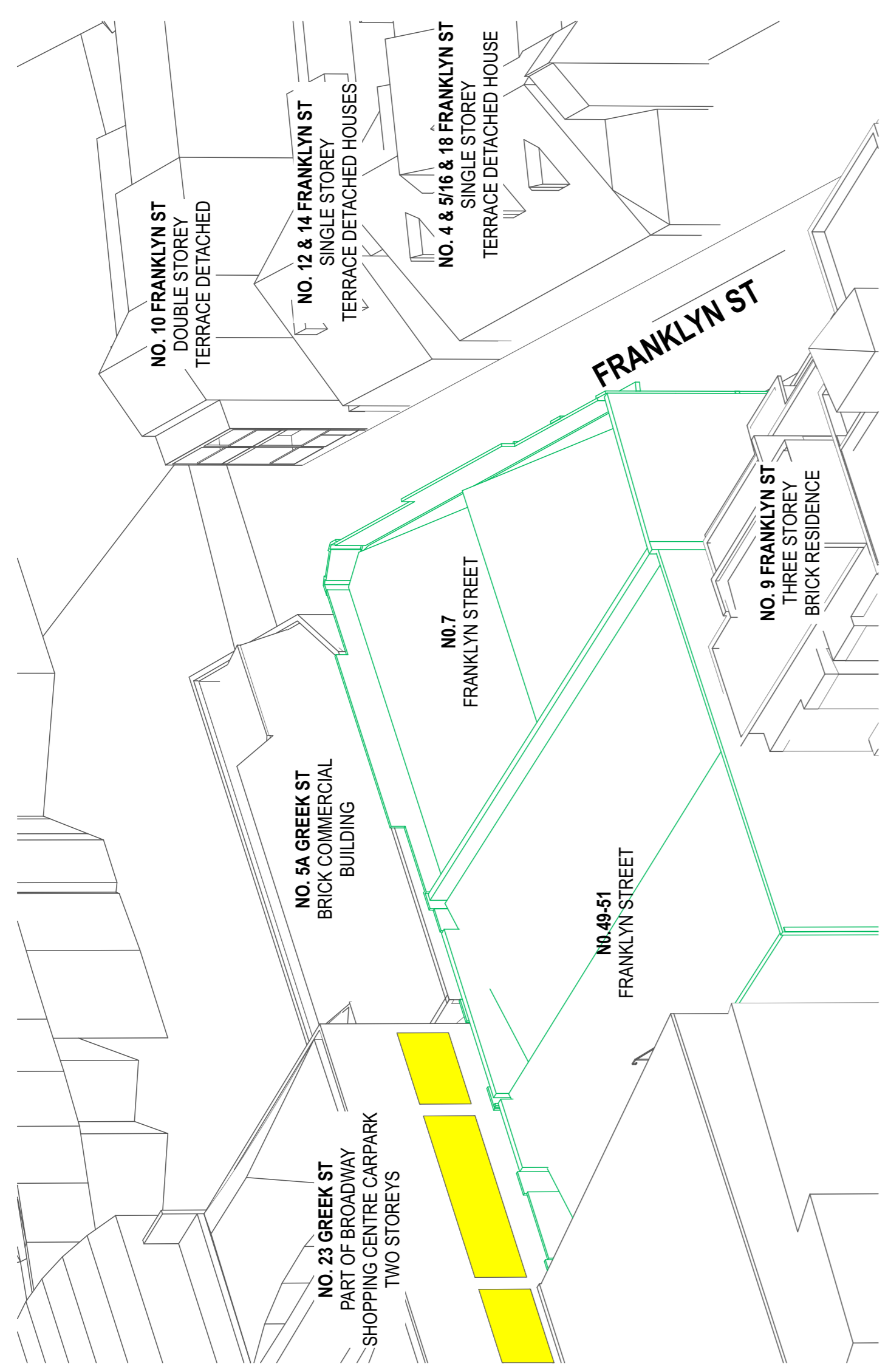
DATE:
21/06/2021

REVISION:
A

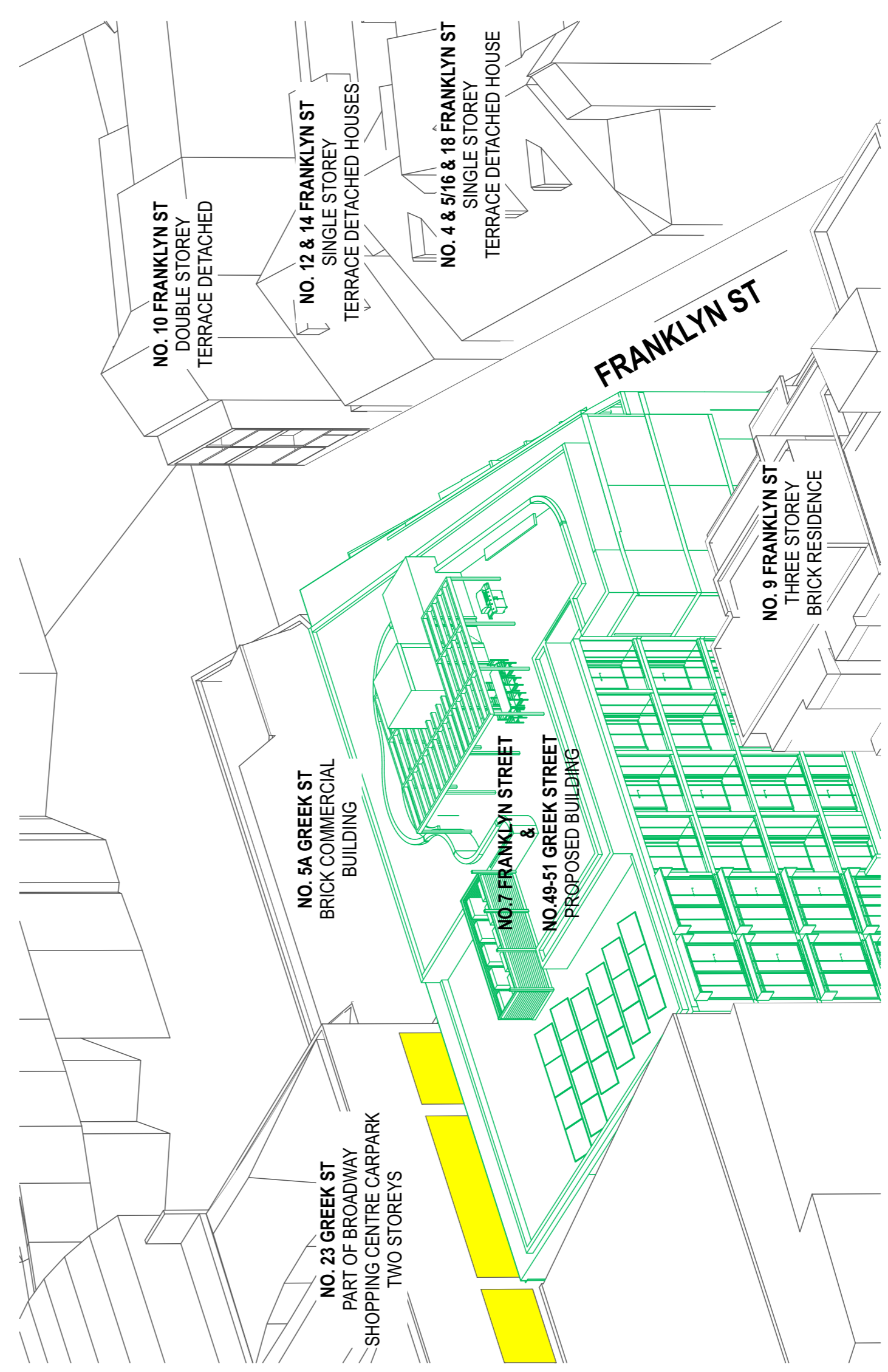
100 mm ACTUAL

IF THE ABOVE DIMENSIONS ARE NOT INDICATED OTHERWISE ALL DIMENSIONS (1:100 mm EXACTLY). THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

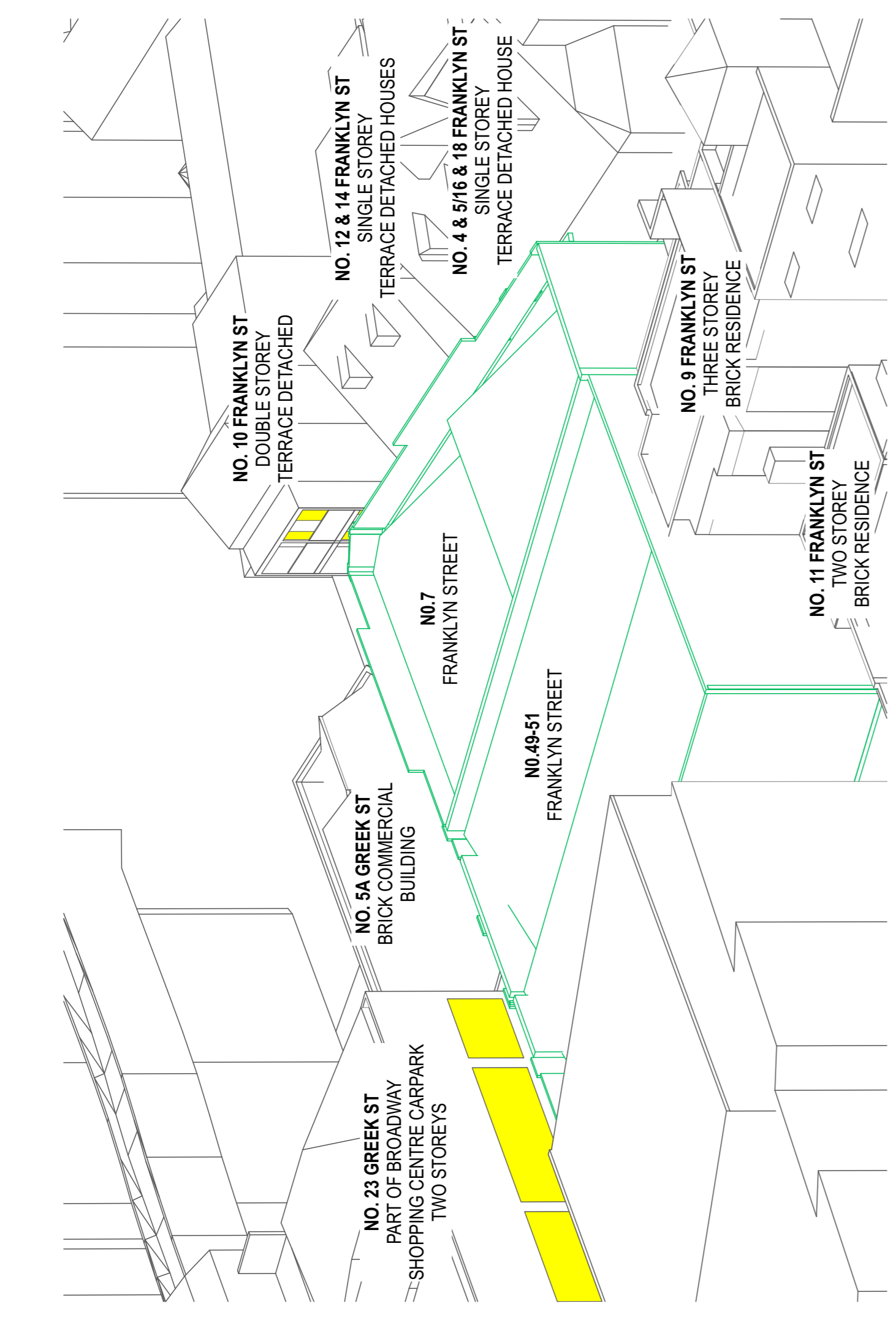
- LEGEND**
- PROPOSED SITE
 - SUN LIGHT TO NEIGHBOURING BUILDINGS GLAZED WINDOWS AND DOORS



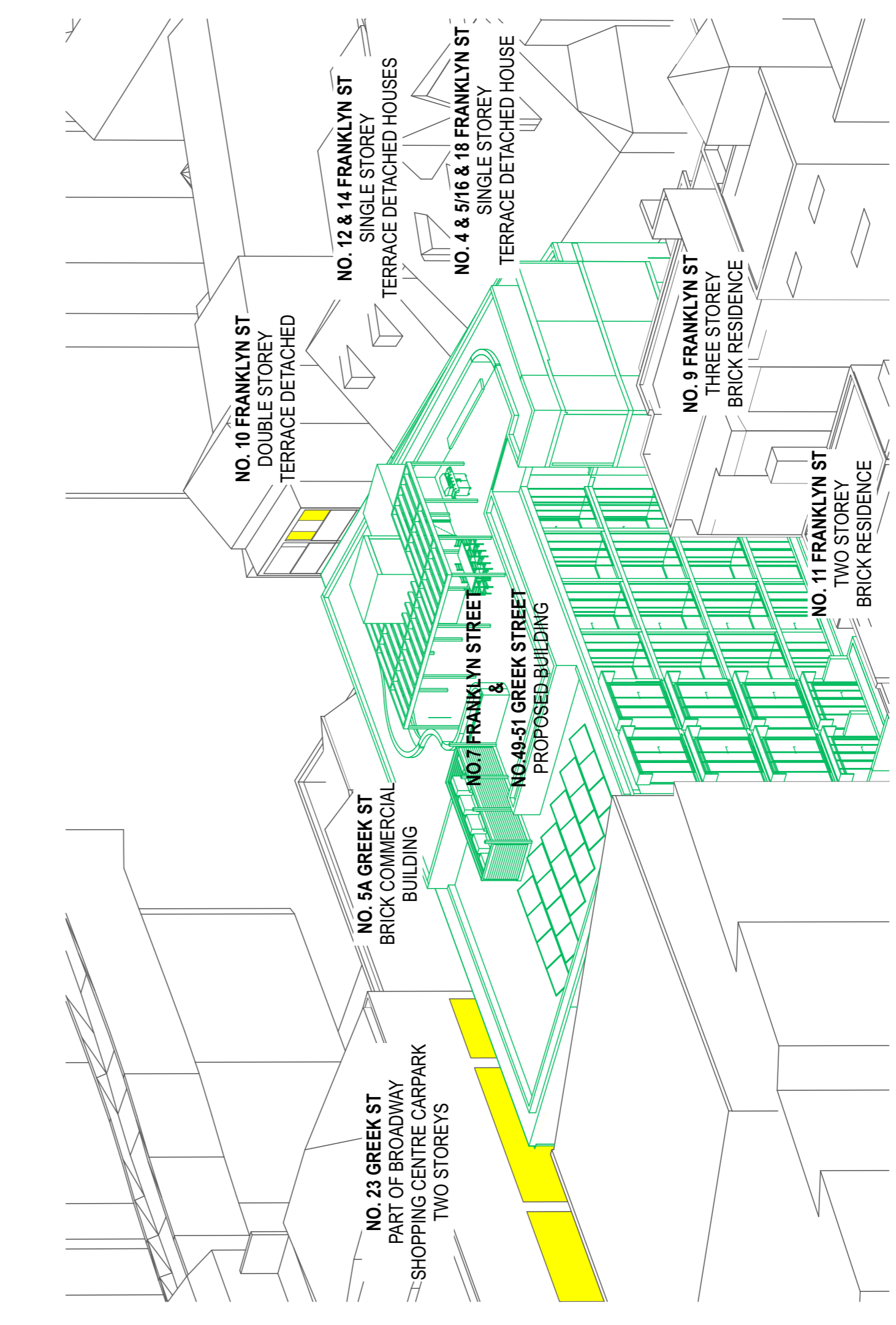
3 SUN'S EYE STUDY JUNE 21 10AM - EXISTING 1:200



4 SUN'S EYE STUDY JUNE 21 10AM - PROPOSED 1:200



1 SUN'S EYE STUDY JUNE 21 9AM - EXISTING 1:200



2 SUN'S EYE STUDY JUNE 21 9AM - PROPOSED 1:200

NOTE

1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
2. Any discrepancies between drawings of differing scales or between drawings and site conditions are to be referred to the architect and/or the architect's representative to be resolved in preference to scaled dimensions.
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4. Critical dimensions to be taken from site.
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REV	DESCRIPTION	DATE	BY
A	REVISED ISSUE FOR DEVELOPMENT APPLICATION	30/11/21	

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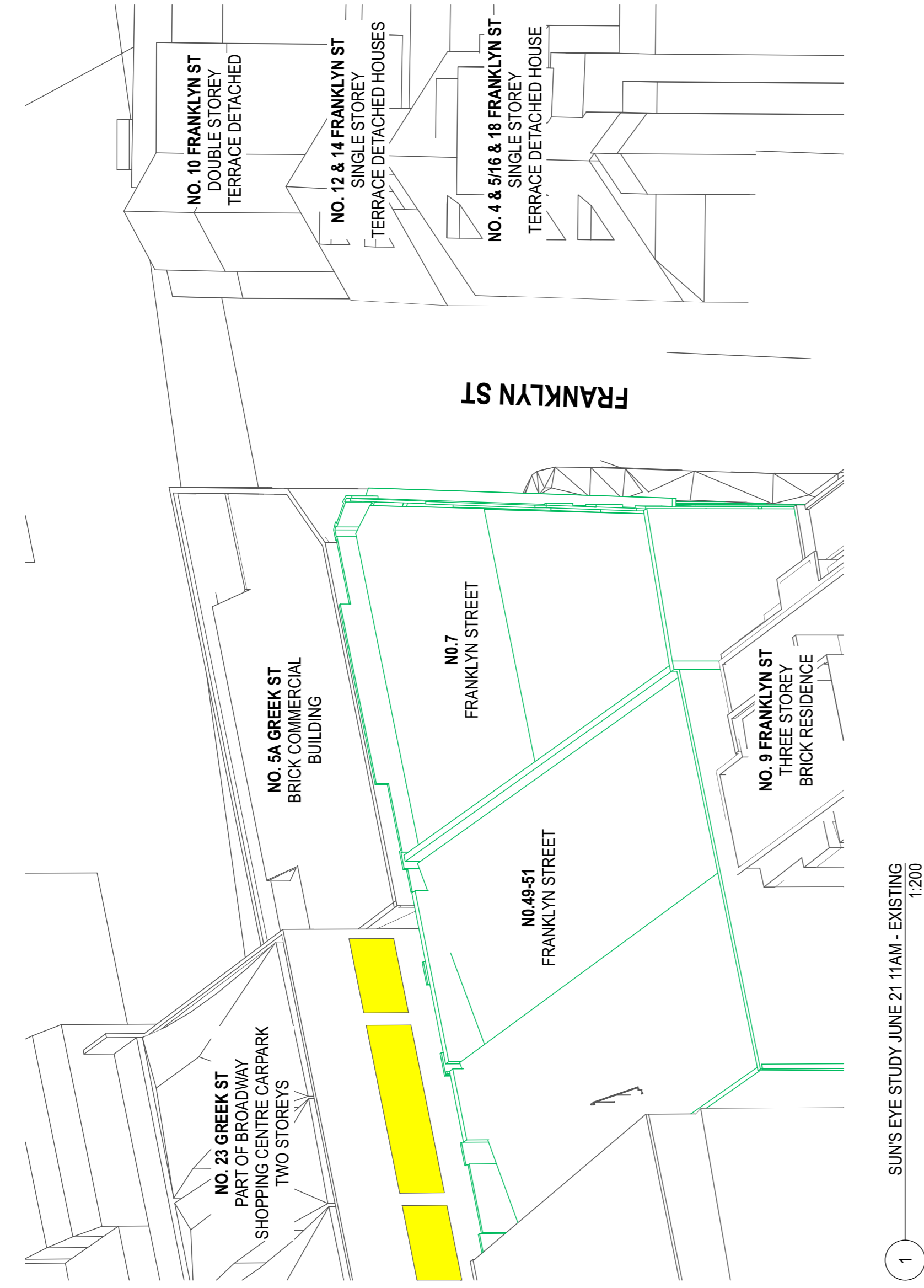
Nominated Architect Ashkan Mostaghim 8358

CLIENT: DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD 49-51 GREEK ST GLEBE NSW 2037	PROJECT TITLE: GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE
NORTH POINT:	PROJECT ADDRESS: 7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037
DRAWING TITLE: SUN'S EYE STUDY JUNE 21 9AM & 10AM	SCALE: 2:1002
PROJECT NUMBER: 21002	DISC: A
REVISION: A	DATE: DA23

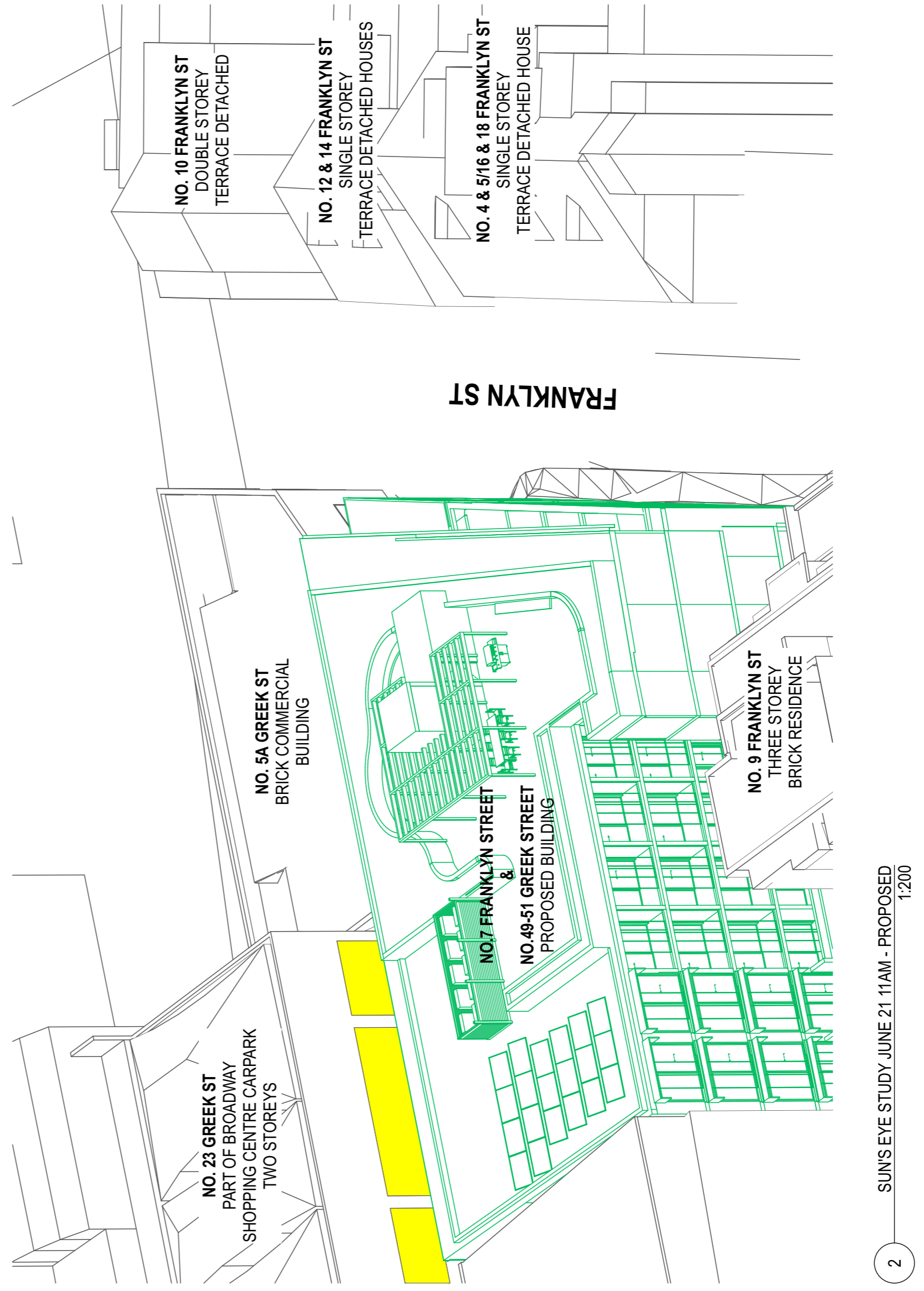
100 mm ACTUAL
 IF THE ABOVE DIMENSIONS ARE TO BE SHOWN ON SMALL SCALES (1:100 mm EXACTLY), THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

CHECKED BY:
AM

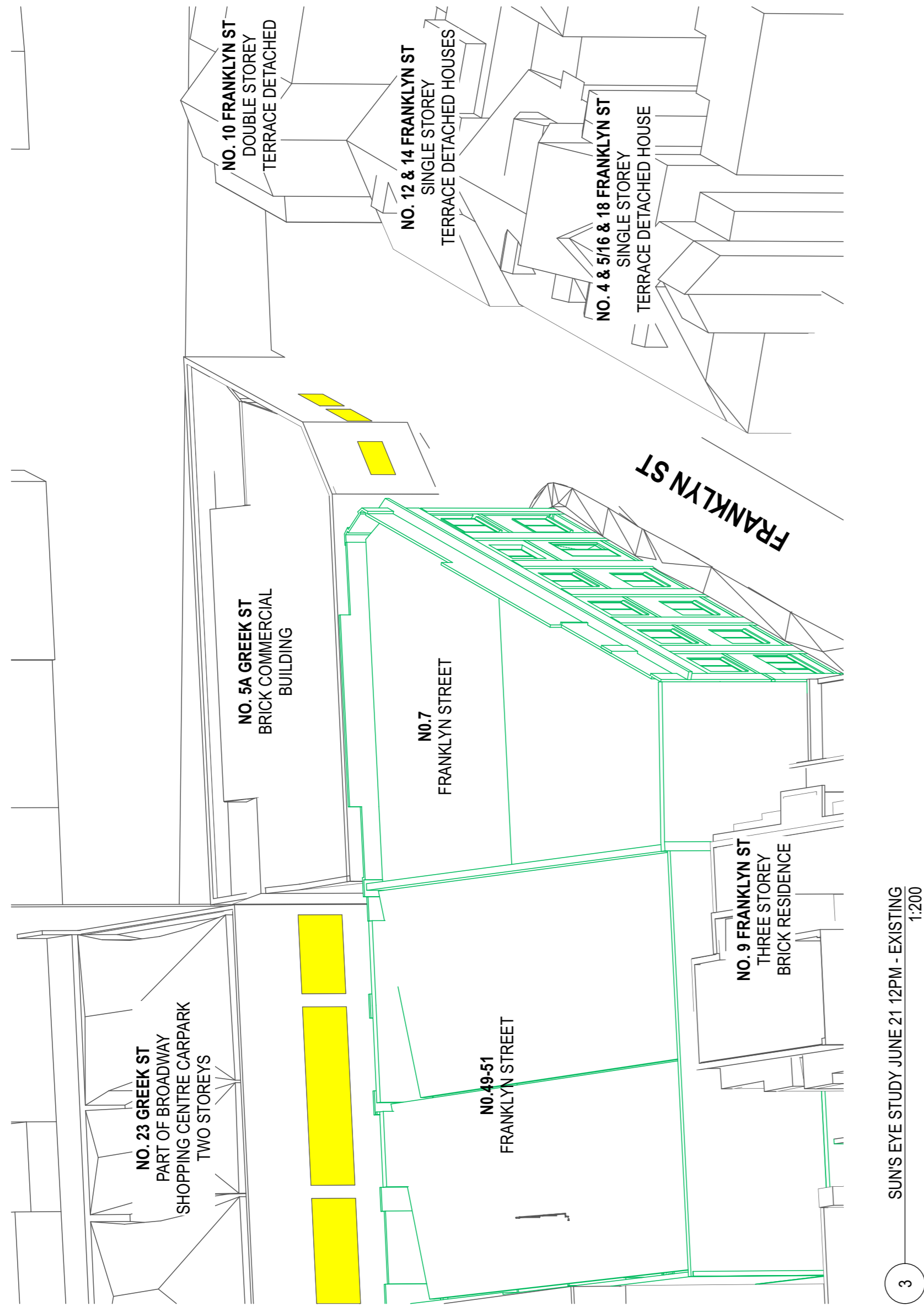
DRAWN BY:
MO



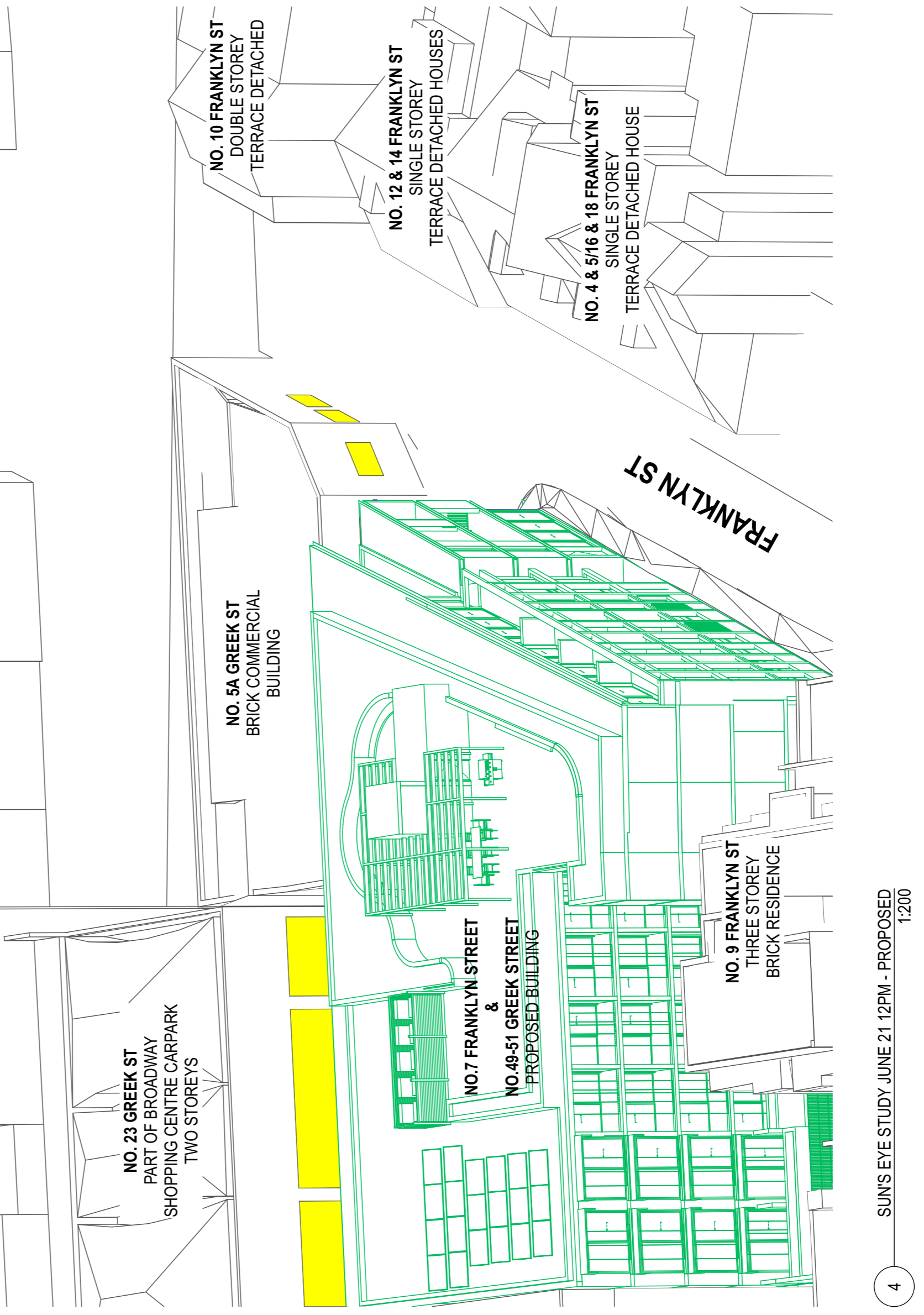
1 SUN'S EYE STUDY JUNE 21 11AM - EXISTING 1:200



2 SUN'S EYE STUDY JUNE 21 11AM - PROPOSED 1:200



3 SUN'S EYE STUDY JUNE 21 12PM - EXISTING 1:200



4 SUN'S EYE STUDY JUNE 21 12PM - PROPOSED 1:200

LEGEND

- PROPOSED SITE
- GLAZED WINDOWS AND DOORS OF NEIGHBOURING BUILDINGS SHADED FOR CLARITY

NOTE

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REVISION NOTE

REV	DATE	DESCRIPTION
A	30/11/21	REVISED ISSUE FOR DEVELOPMENT APPLICATION

NORTH POINT:

MOSTAGHIM
 a L2, 17 federation rd, newtown nsw 2042
 w mostaghim.com.au
 e info@mostaghim.com.au
 p 02 9557 2002

Nominated Architect Ashkan Mostaghim 8358

CLIENT:

DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
 49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:

7 FRANKLYN STREET & 49-51 GREEK ST
 GLEBE NSW 2037

PROJECT TITLE:

GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE

DRAWING TITLE:

SUN'S EYE STUDY 21 JUNE 11AM & 12PM

DRAWN BY:

MO

CHECKED BY:

AM

100 mm ACTUAL
 IF THE ABOVE DIMENSIONS DO NOT CORRESPOND TO THE DIMENSIONS OF THE ORIGINAL DRAWINGS (100 mm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELLED SCALES.

SCALE:

2:1002

PROJECT NUMBER:

21002

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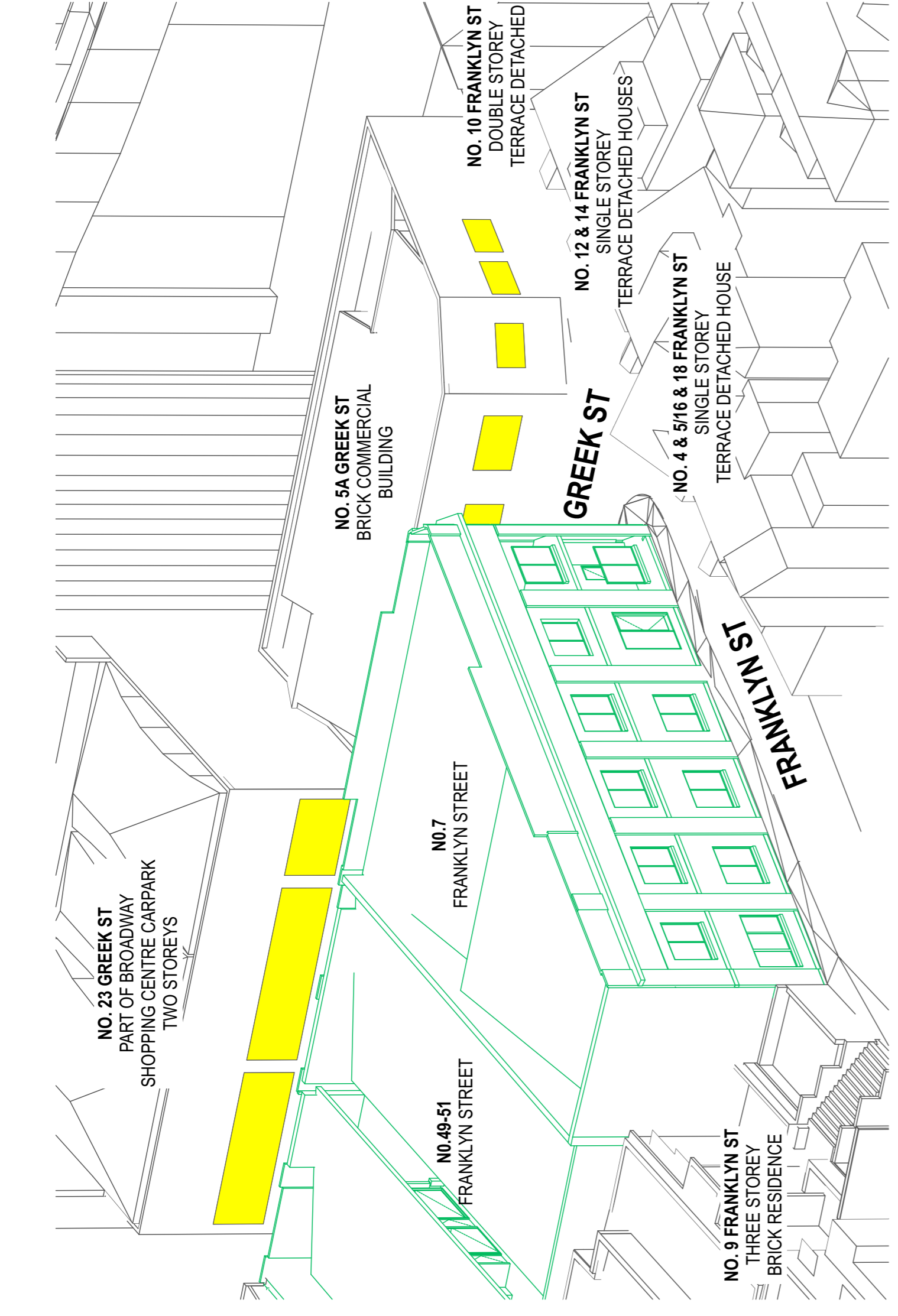
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stage / tag no.

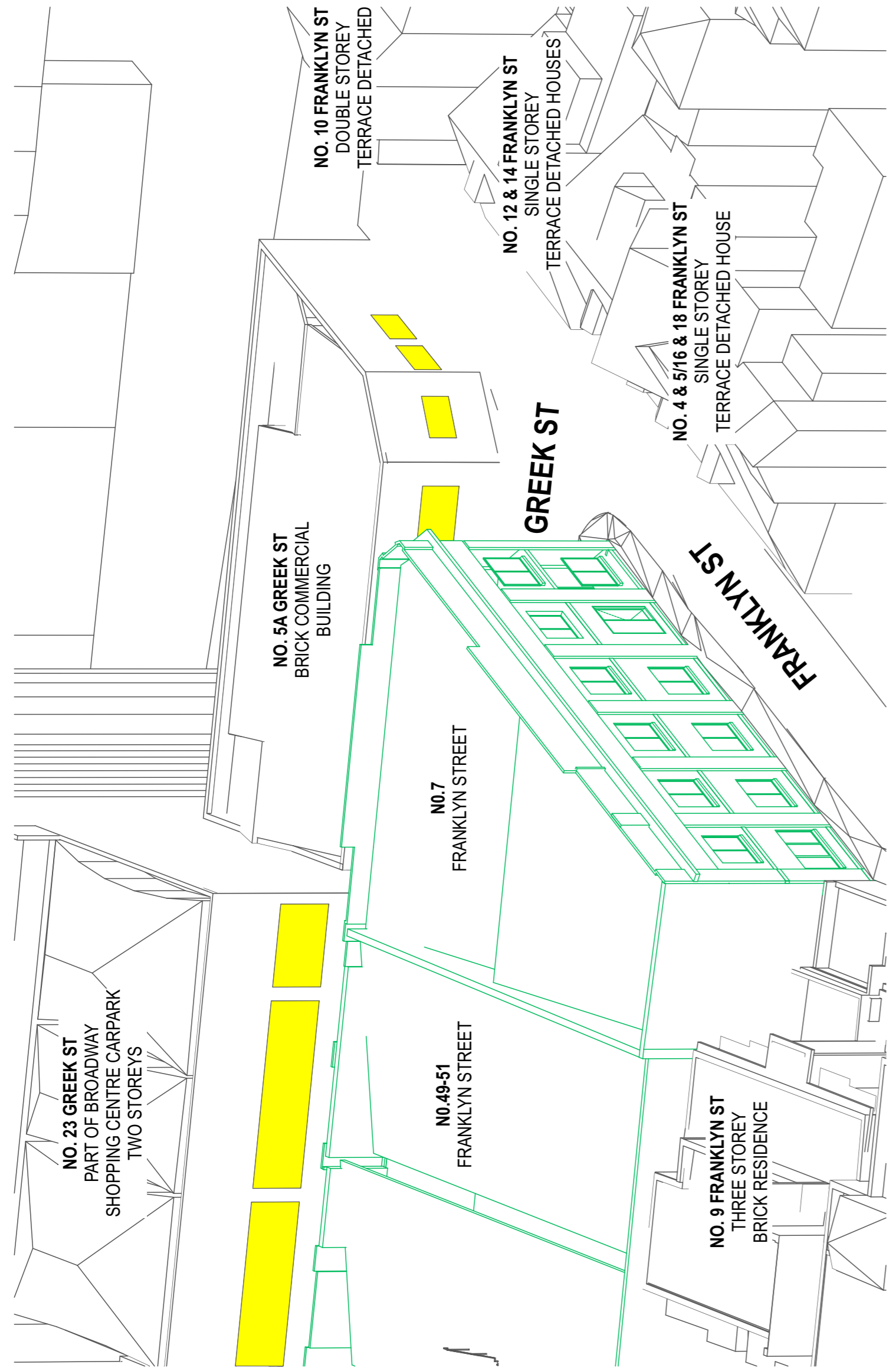
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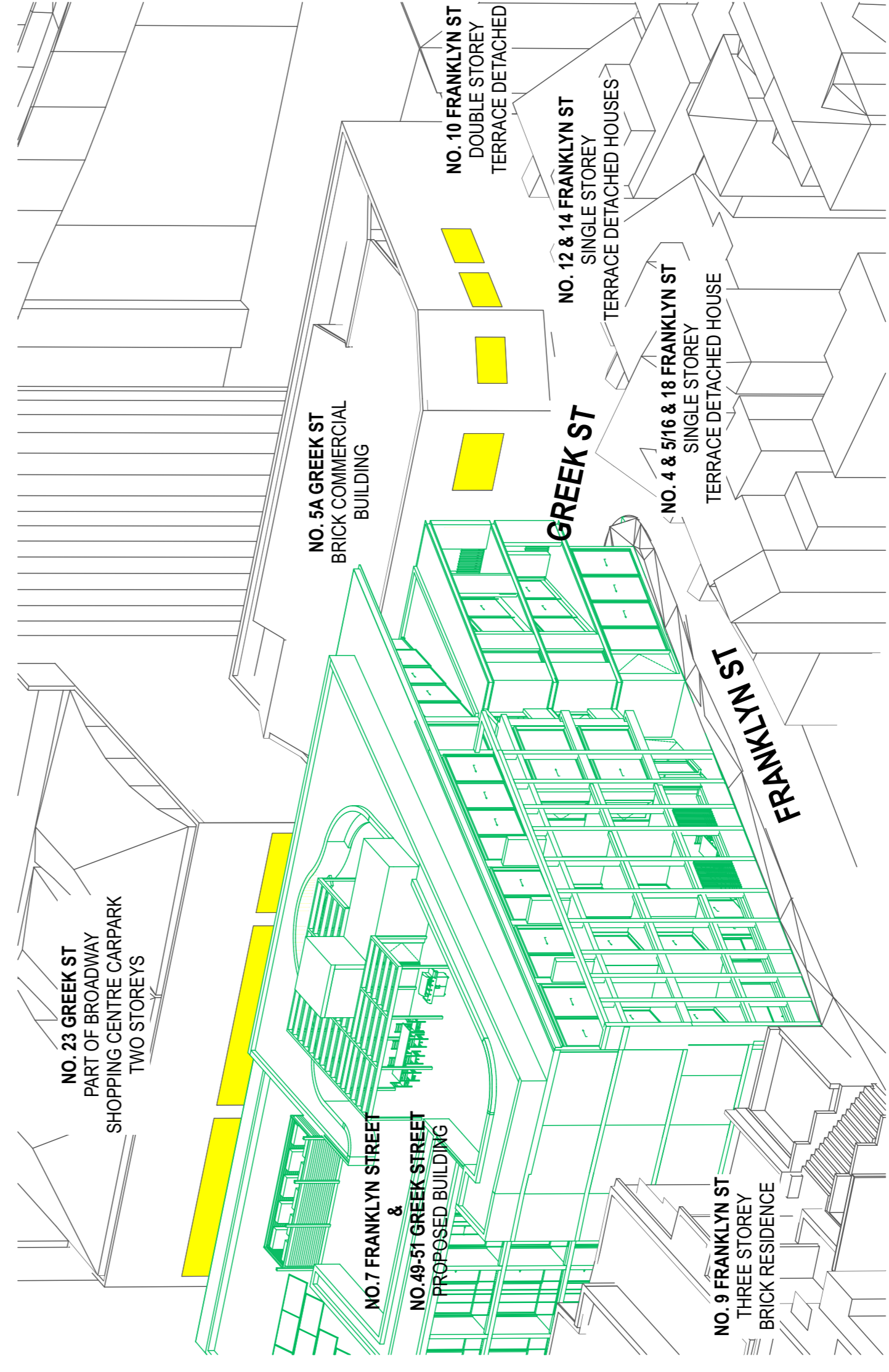
- LEGEND**
- PROPOSED SITE
 - GLAZED WINDOWS AND DOORS OF NEIGHBOURING BUILDINGS SHADED FOR CLARITY



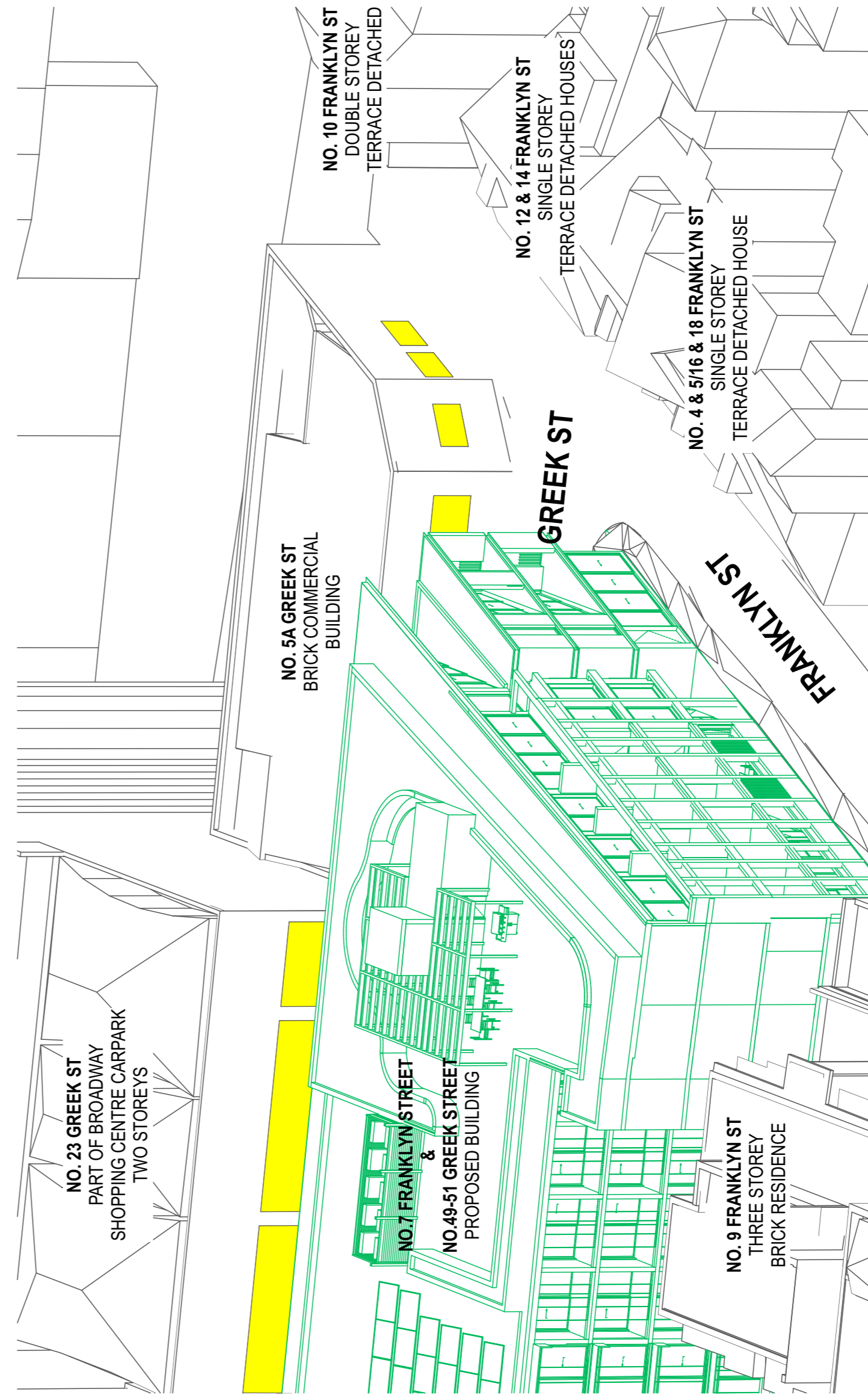
1 SUN'S EYE STUDY JUNE 21 1PM - EXISTING
1:200



2 SUN'S EYE STUDY JUNE 21 1PM - PROPOSED
1:200



3 SUN'S EYE STUDY JUNE 21 2PM - EXISTING
1:200



4 SUN'S EYE STUDY JUNE 21 2PM - PROPOSED
1:200

NOTE

1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
 2. Any discrepancies between drawings or differing scales or between drawings and site conditions are to be notified to the supervising architect or engineer immediately and the drawings are to be amended accordingly.
 3. Figured dimensions to be taken in preference to scaled dimensions.
 4. Critical dimensions to be taken from site.
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REVISION NOTE

REV	DESCRIPTION	DATE	BY
A	REVISED ISSUE FOR DEVELOPMENT APPLICATION	30/11/21	

REVISION NOTE

REV	DESCRIPTION	DATE	BY

NORTH POINT:

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 p 02 9557 2002
 Nominated Architect Ashkan Mostaghim 8358

CLIENT:
 DENWOL-HOME PTY LTD &
 DENWOL FRANKLYN PTY LTD
 49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
 7 FRANKLYN STREET & 49-51 GREEK ST
 GLEBE NSW 2037

PROJECT TITLE:
 GREEK STREET BOARDING HOUSE
 DEVELOPMENT GLEBE

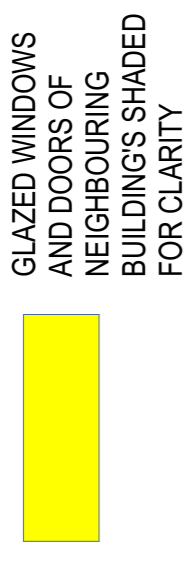
DRAWING TITLE:
 SUN'S EYE STUDY 21 JUNE 1PM & 2PM

DRAWN BY: MO	CHECKED BY: AM
SCALE: 100 mm ACTUAL IF THE ABOVE DIMENSIONS ARE SHOWN IN SMALL LETTERS (100 mm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.	
PROJECT NUMBER: 21002	revision: A DA25 stage / rev no.

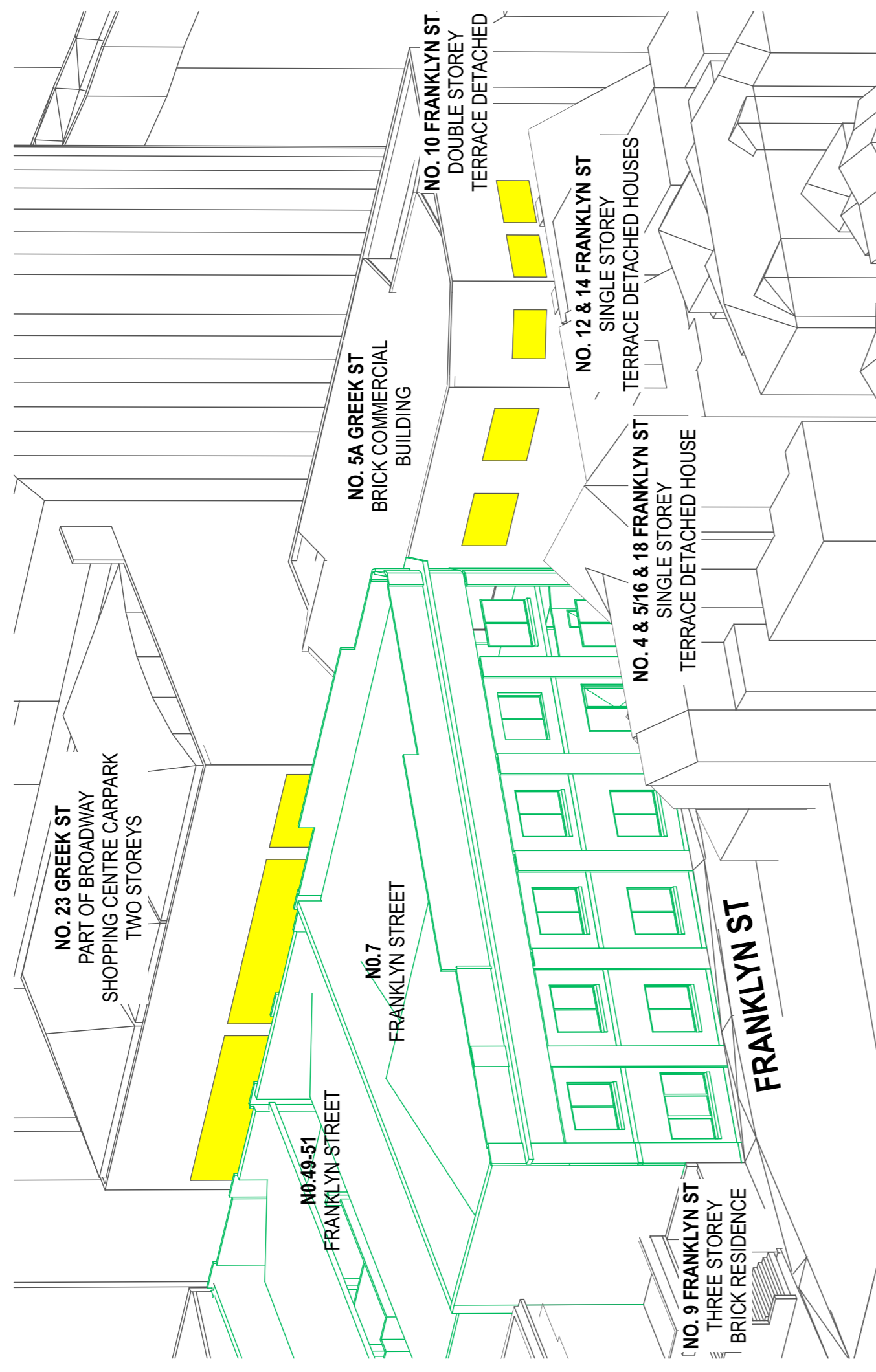
LEGEND



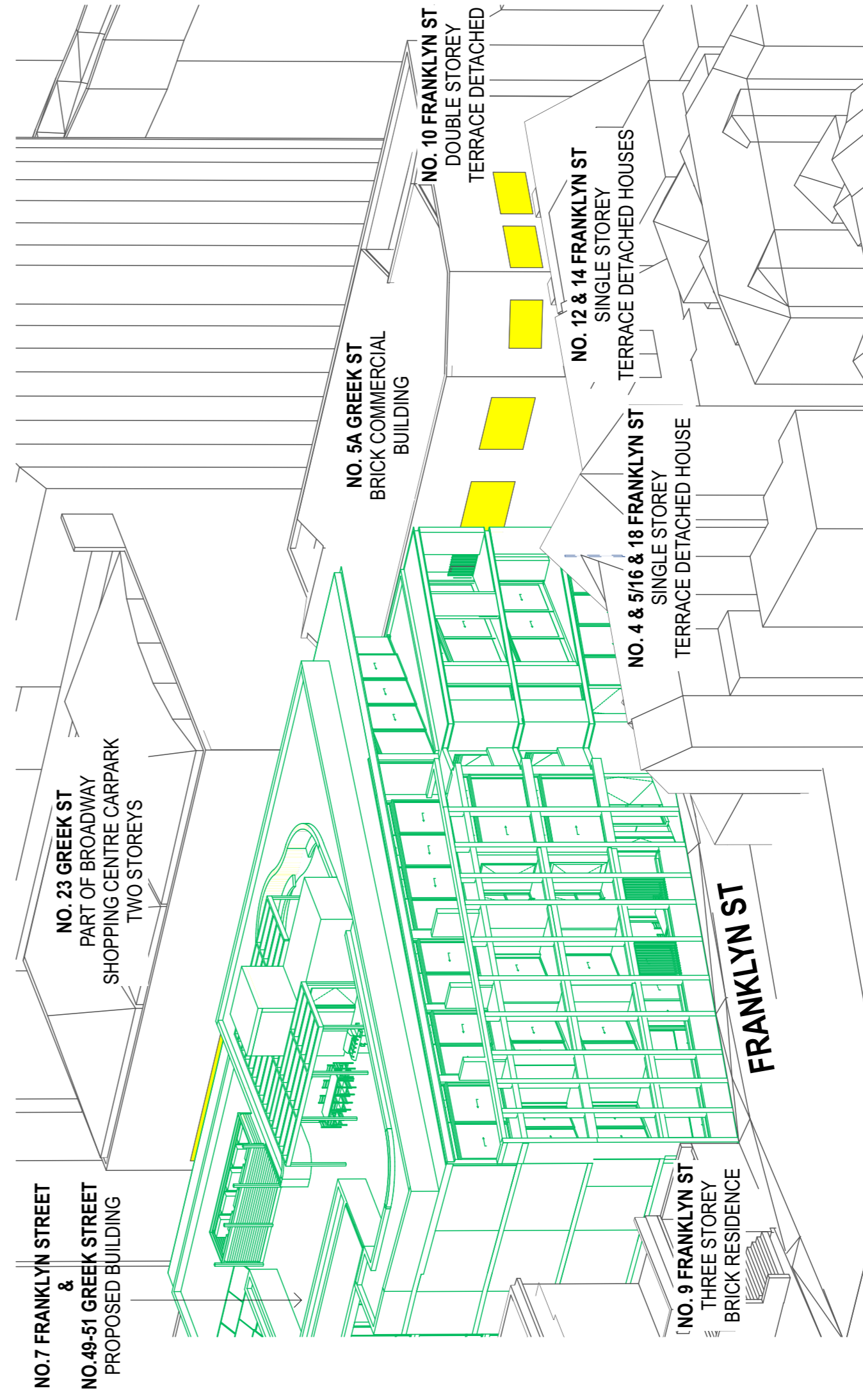
PROPOSED SITE



GLAZED WINDOWS AND DOORS OF NEIGHBOURING BUILDINGS SHADED FOR CLARITY



1 EXISTING SUNS EYE STUDY JUNE 21 3PM 1:200



2 PROPOSED SUNS EYE STUDY JUNE 21 3PM 1:200

NOTE

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 2. Any discrepancies between drawings of differing scales or between drawings and site conditions are to be notified to the architect and/or the engineer and the drawings are to be amended accordingly.
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REVISION NOTE

REV	DESCRIPTION	DATE	BY
A	RE/ISSUE ISSUE FOR DEVELOPMENT APPLICATION	30/11/21	

REVISION NOTE

REV	DESCRIPTION	DATE	BY
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NORTH POINT

CLIENT:
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PROJECT ADDRESS:
7 FRANKLYN STREET & 49-51 GREEK ST
GLEBE NSW 2037

PROJECT TITLE:
GREEK STREET BOARDING HOUSE
DEVELOPMENT GLEBE

DRAWING TITLE:
SUN'S EYE STUDY 21 JUNE 3PM

DRAWN BY:
MO

CHECKED BY:
AM

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SCALE:
PROJECT NUMBER:
21002

A disc

DA26 stage / tag no.

A revision



A PRE-ADAPTABLE LAYOUTS
1:50



B POST-ADAPTABLE LAYOUTS
1:50

LEVEL 1 : 3 x ADAPTABLE ROOMS (ROOM 112, 113 & 116)
1 x ACCESSIBLE ROOM (ROOM 115)

7 ADAPTABLE ROOMS & 5 ACCESSIBLE ROOMS IN TOTAL

NOTE

1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
 2. Any discrepancies between drawings or differing scales or between drawings and site conditions are to be notified to the superintendent and/or the architect as soon as possible.
 3. Fitted dimensions to be taken in preference to scaled dimensions.
 4. Critical dimensions to be taken from site.
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REVISION NOTE

DESCRIPTION

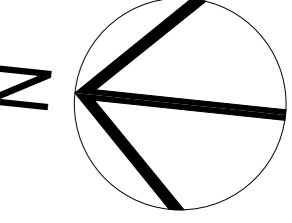
REV	DATE	BY	DATE
A	30/11/21		

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NORTH POINT:



CLIENT:

DENWOL HOME PTY LTD &
DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:

7 FRANKLYN STREET & 49-51 GREEK ST
GLEBE NSW 2037

PROJECT TITLE:

GREEK STREET BOARDING HOUSE
DEVELOPMENT GLEBE

DRAWING TITLE:

ADAPTABLE ROOMS- LEVEL 1

DRAWN BY:

MO

CHECKED BY:

AM

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SCALE:

PROJECT NUMBER:
21002

A disc
DA27 size / tag no.
A revision



A PRE-ADAPTABLE LAYOUTS
1:50



B POST-ADAPTABLE LAYOUTS
1:50

LEVEL 2 : 3 x ADAPTABLE ROOMS (ROOM 212, 214 & 216)
1 x ACCESSIBLE ROOM (ROOM 215)

7 ADAPTABLE ROOMS & 5 ACCESSIBLE ROOMS IN TOTAL

NOTE

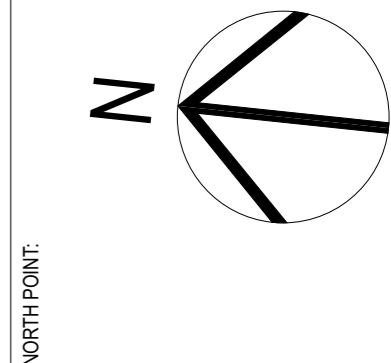
1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
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REVISION NOTE

REV	DESCRIPTION	DATE	BY
A	RE/USED ISSUE FOR DEVELOPMENT APPLICATION	30/11/21	

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CHECKED BY:
AM

PROJECT TITLE:
GREEK STREET BOARDING HOUSE DEVELOPMENT GLEBE

DRAWING TITLE:
ADAPTABLE ROOMS - LEVEL 2

CLIENT:
DENWOL HOME PTY LTD & DENWOL FRANKLYN PTY LTD
49-51 GREEK ST GLEBE NSW 2037

PROJECT ADDRESS:
7 FRANKLYN STREET & 49-51 GREEK ST GLEBE NSW 2037

PROJECT NUMBER:
21002

SCALE:
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DA28
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FRANKLYN & GREEK STREET, GLEBE

LANDSCAPE DEVELOPMENT APPLICATION

PLANTING SCHEDULE

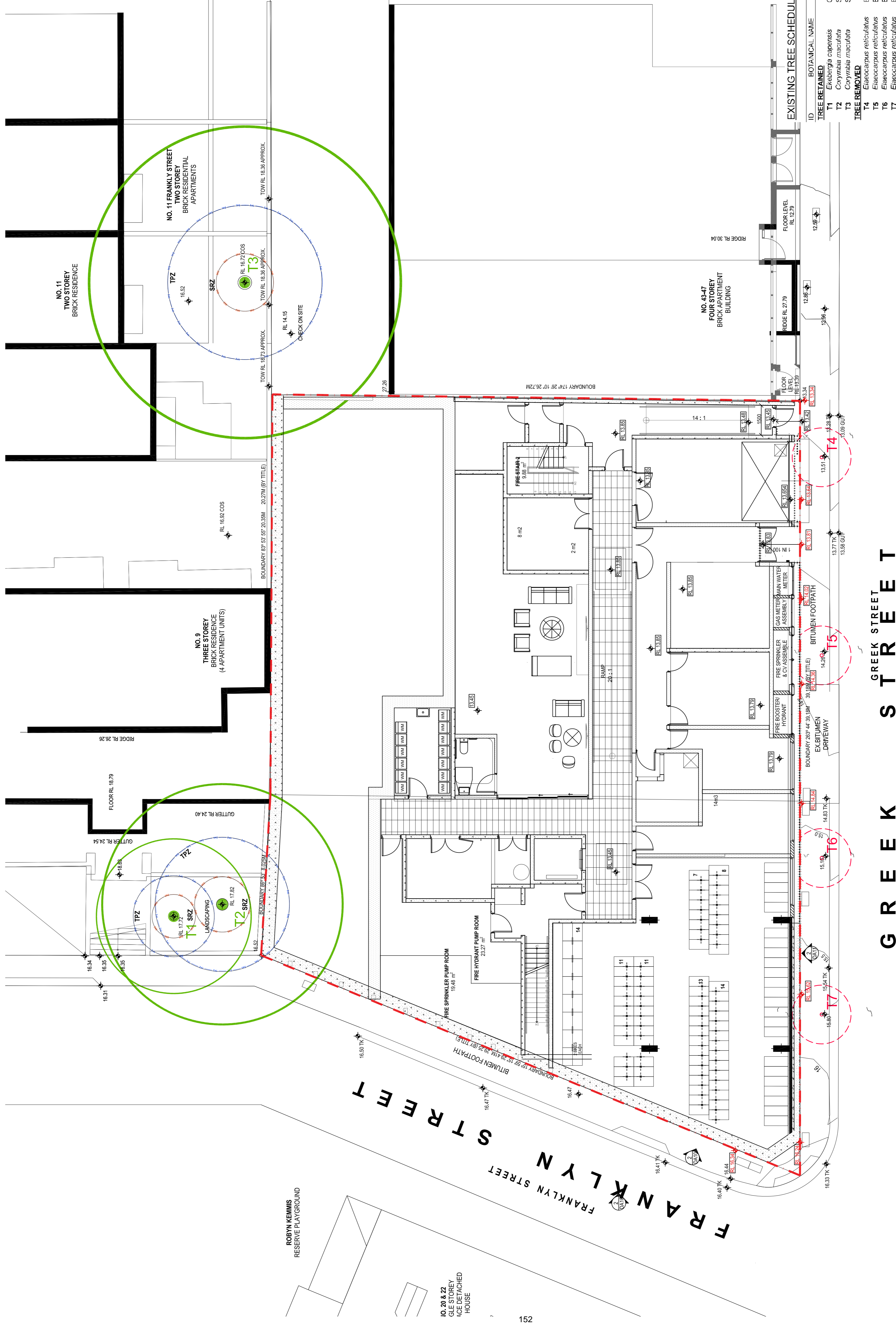
ID	BOTANICAL NAME	COMMON NAME	HEIGHT (m)	SIZE	QTY
TREES					
Tr-a	<i>Tristanopsis laurina</i> 'luscious'	Water Gum	12m	100L	2
Pl-ch	<i>Platanus chinensis</i>	Chinese Platanus	7m	100L	2
E-leu	<i>Eucalyptus eumundii</i>	Eumundii Eucalypt	13m	100L	3
Pr-u	<i>Plumeria rubra</i>	Red Frangipani	5m	75L	10
Go-ax	<i>Gordonia axillaris</i>	Fried Egg Plant	3m	45L	2
SRUBS					
Al-ca	<i>Alpinia caerulea</i> 'Atherton form'	Native Ginger	1.5m	45L	33
Ad-se	<i>Adiantum species</i>	Woolly bush	2m	200mm	8
Ac-ho	<i>Acacia howittii</i> 'Honey Bun'	Honey bun	1.2m	300mm	48
Al-zo	<i>Alpinia zerumbet</i>	shell ginger	2-3m	300mm	44
La-de	<i>Lavandula dentata</i>	French Lavender	1m	200mm	5
Lu-pa	<i>Lavandula paniculata</i>	Orange Jessamine	3m	300mm	55
Mu-mi	<i>Murraya minor</i>	Dwarf Mock Orange	1m	300mm	31
Sy-pl	<i>Syzygium australe</i> 'Pinnacle'	Lily Pilly	6m	300mm	15
Al-im	<i>Alcantarea impenalis</i>	Bromeliad	1m	300mm	40
Aq-at	<i>Agave attenuata</i>	Fox Tail Agave	1m	300mm	78
Dr-tr	<i>Drosera trifasciata</i>	Shake Plant	1m	300mm	42
GROUNDCOVERS AND GRASSES					
Co-fr	<i>Cordyline fruticosa</i>	Palm Lily	0.7m	200mm	94
Dt-la	<i>Dianella tasmanica</i> 'Variegata'	Blue Flax Lily	0.3m	200mm	5
Se-ma	<i>Senecio mandraliscae</i>	Blue chalk sticks	0.3m	150mm	150
Gr-la	<i>Gravillea longera</i> 'Mt Tamboritha'	Gravillea	0.3m	200mm	10
Ba-bc	<i>Banksia 'Birthday candles'</i>	Banksia	0.5m	200mm	57
Dt-re	<i>Dichondra repens</i>	Kidney weed	0.2m	150mm	25
Vi-be	<i>Vicia hederacea</i>	Native ivy	0.2m	150mm	40
Ht-gh	<i>Hymenocallis florum</i> 'Gold Nugget'	Native Frangipani	0.75m	200mm	15
Lu-er	<i>Liriodendron 'Evergreen glart'</i>	Lilyturf	0.6m	200mm	30
Vi-co	<i>Vitis cogonioides</i>	Crimson Glory Vine	1.6m	150mm	5

*Plant quantities on planting plan take precedence over quantities identified in this schedule.

- DWG LA00 COVER SHEET N/A
- DWG LA01 TREE REMOVAL/RETENTION PLAN 1:100
- DWG LA02 GROUND FLOOR LANDSCAPE PLAN 1:100
- DWG LA03 ROOF LANDSCAPE PLAN 1:100
- DWG LA04 LANDSCAPE SECTION 1:100
- DWG LA05 PLANTING CHARACTER N/A
- DWG LD01 LANDSCAPE DETAILS AS SHOWN

- DWG LA00 COVER SHEET N/A
- DWG LA01 TREE REMOVAL/RETENTION PLAN 1:100
- DWG LA02 GROUND FLOOR LANDSCAPE PLAN 1:100
- DWG LA03 ROOF LANDSCAPE PLAN 1:100
- DWG LA04 LANDSCAPE SECTION 1:100
- DWG LA05 PLANTING CHARACTER N/A
- DWG LD01 LANDSCAPE DETAILS AS SHOWN

TREE REMOVAL/RETENTION PLAN

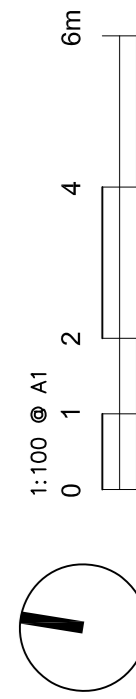


EXISTING TREE SCHEDULE

ID	BOTANICAL NAME	Common Name	HEIGHT (m)
T1	<i>Eucalyptus capensis</i>	Cape Ash	10m
T2	<i>Corymbia maculata</i>	Spotted Gum	14m
T3	<i>Corymbia maculata</i>	Spotted Gum	12m
TREE REMOVED			
T4	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	3m
T5	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	4m
T6	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	2m
T7	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	5m

NOTE:
Arborist report prepared by: Horticultural Management Services, 15th June 2021

FRANKLYN & GREEK STREET, GLEBE



LEGEND



Project: FRANKLYN & GREEK STREET, GLEBE
Client: DENWOL PTY LTD
Date: 26.11.2021
Revision: A
Drawn: YJ
Checked: AL

TaylorBrammer LA01
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD
SYDNEY STUDIO
218 Oxford Street Woolahra NSW 2025 Australia
T +61 2 9387 8855
E sydney@taylorbrammer.com.au

GROUND FLOOR LANDSCAPE PLAN



Design Notes:

- 01 LAYERED PLANTING PROVIDING VISUAL SCREEN AND VERTICAL PLANTING ON FENCE TO BUILDING NEXT DOOR
- 02 FEATURED STONE STEPPING ON TURF
- 03 SCREEN PLANTING ON SLAB TO UNITS PRIVACY
- 04 FEATURE TREE TO COURTYARD
- 05 SEATING TO COURTYARD GARDEN BACKGROUND
- 06 NEW STREET TREE AFTER CONSTRUCTION PERIOD AS PER PREVIOUS SPECIES

Design Characters:



ROOF LANDSCAPE PLAN



Design Notes:

- 01 FEATURE TREE TO RAISED PLANTERDOOR
- 02 FEATURE PAVING TO ROOFTOP
- 03 LANDSCAPE BUFFER / WINDO BREAK
- 04 BBQ WITH DINNING FURNITURE UNDER SHADE STRUCTURE
- 05 SEATING NOOK TO RAISED PLANTER

Design Characters:



Seating lounge to rooftop



Seating nook with curved seat



Climber to entry Pergola

LEGEND

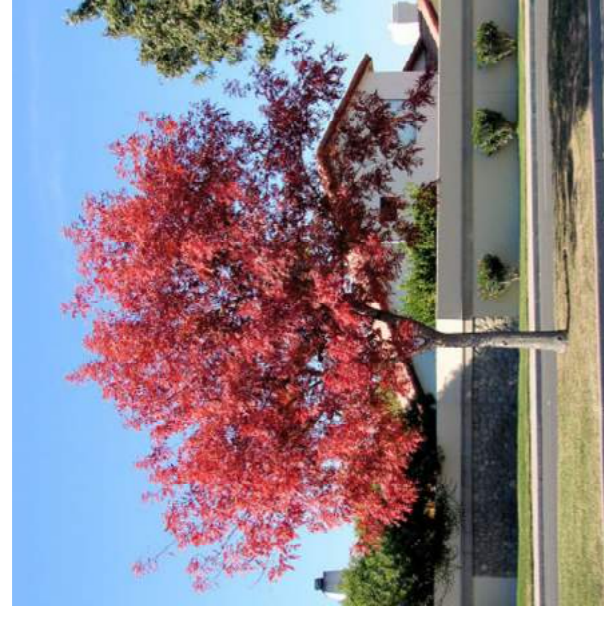
- SITE BOUNDARY
- EXISTING TREE RETAINED
- PROPOSED TREE
- REMOVE EXISTING STREET TREES DURING CONSTRUCTION HAS RESERVE ONLY AFTER CONSTRUCTION COMPLETED
- PROPOSED SHRUBS
- PROPOSED GROUNDCOVERS
- SITE FENCING 1800mm HIGH
- TURF

LANDSCAPE SECTION



1 SECTION A - A (GROUND FLOOR):
SECTION SCALE 1:20

PLANTING CHARACTER



Pistacia chinensis



Plumeria rubra



Gordonia axillari



Syzygium australe 'Pinnacle'



Murraya paniculata



Alpinia zerumbet



Alpinia caerulea 'Atherton form'



Acacia howittii 'Honey Bun'



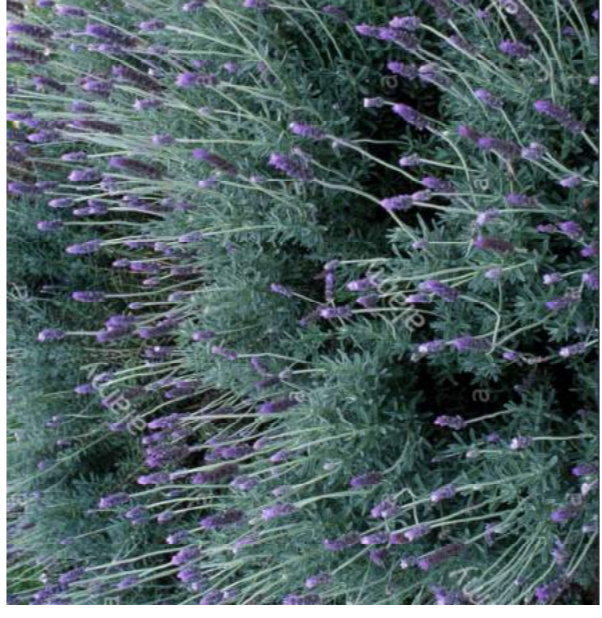
Agave attenuata



Dracaena trifasciata



Alcantarea imperialis



Lavandula Dentata



Euphorbia characias 'Wulfenii'



Adenanthos sericeus



Viola hederacea



Hymenosporum flavum 'Gold Nugget'



Liriope 'Evergreen giant'



Senecio Mandraliscae



Dianella tasmanica Variegata'

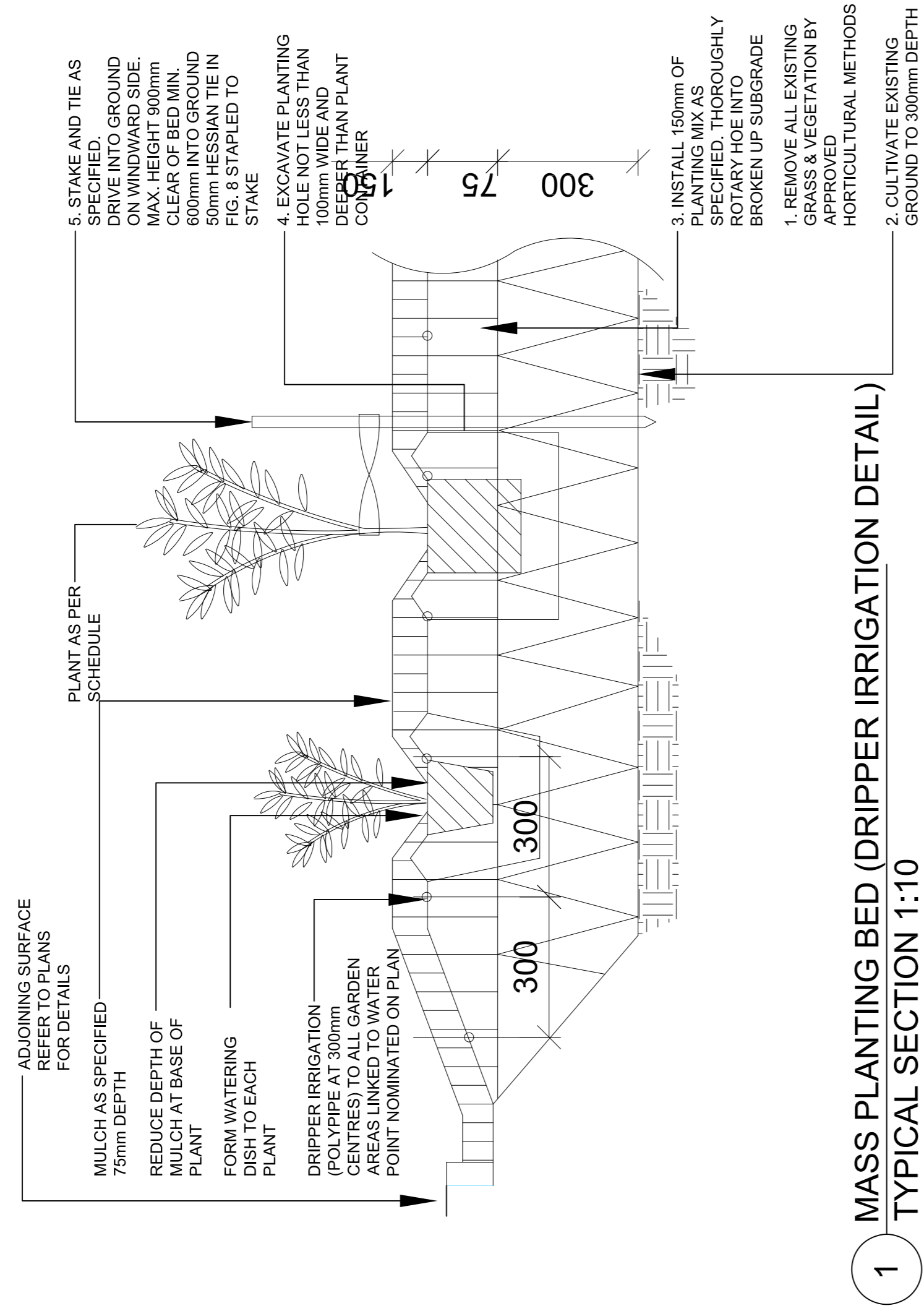


Banksia 'Birthday candles'

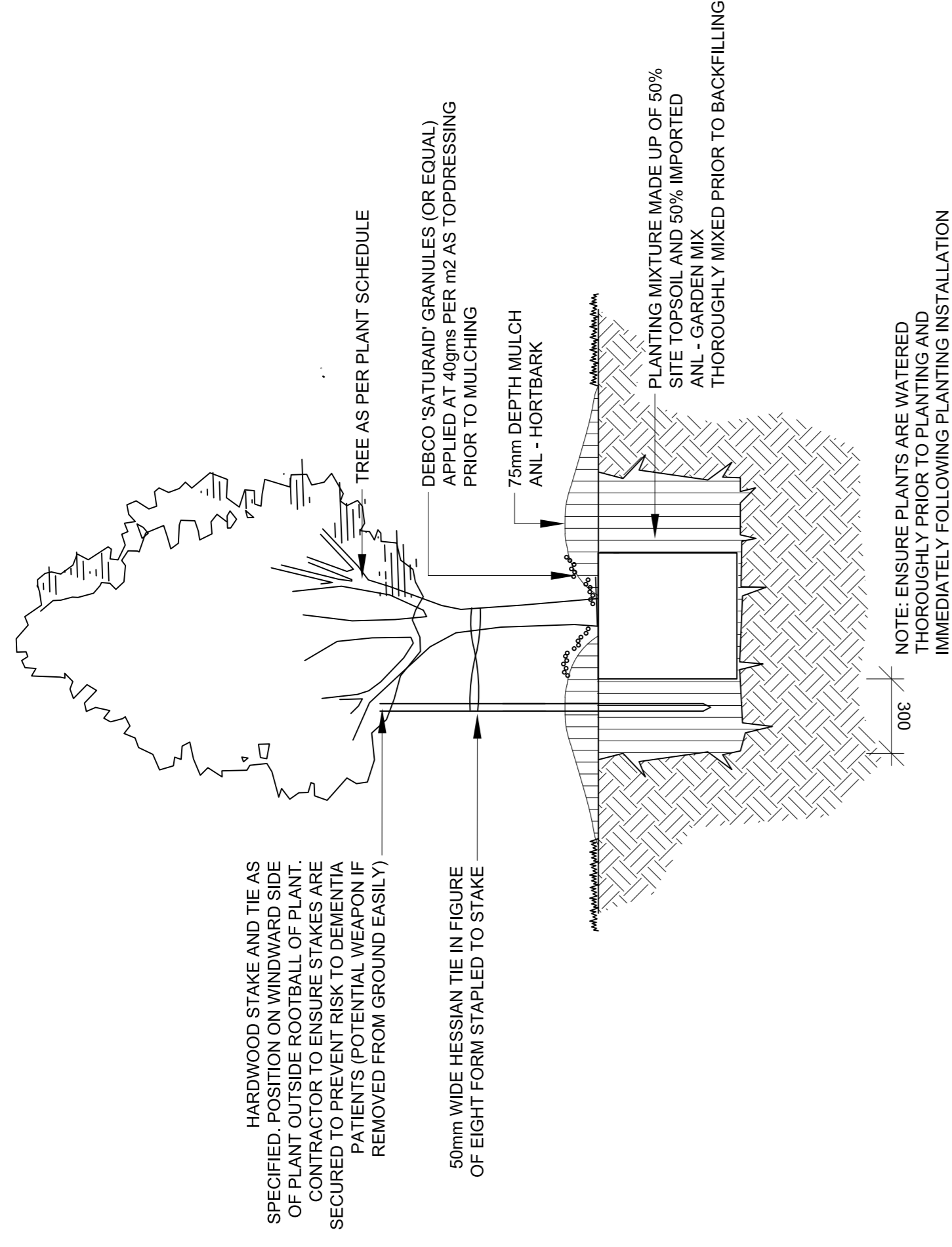


Vitis coignetiae

LANDSCAPE DETAILS

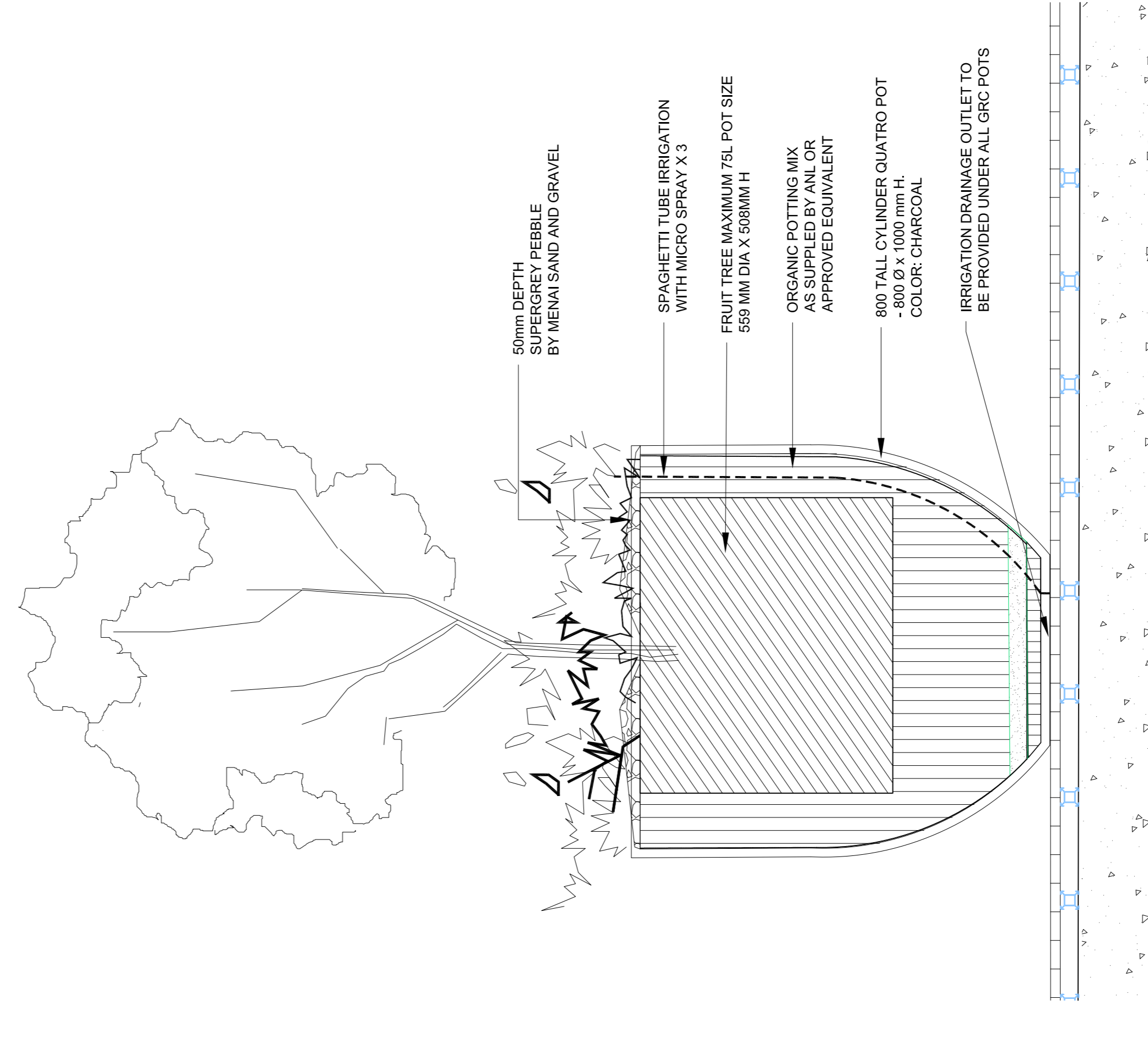
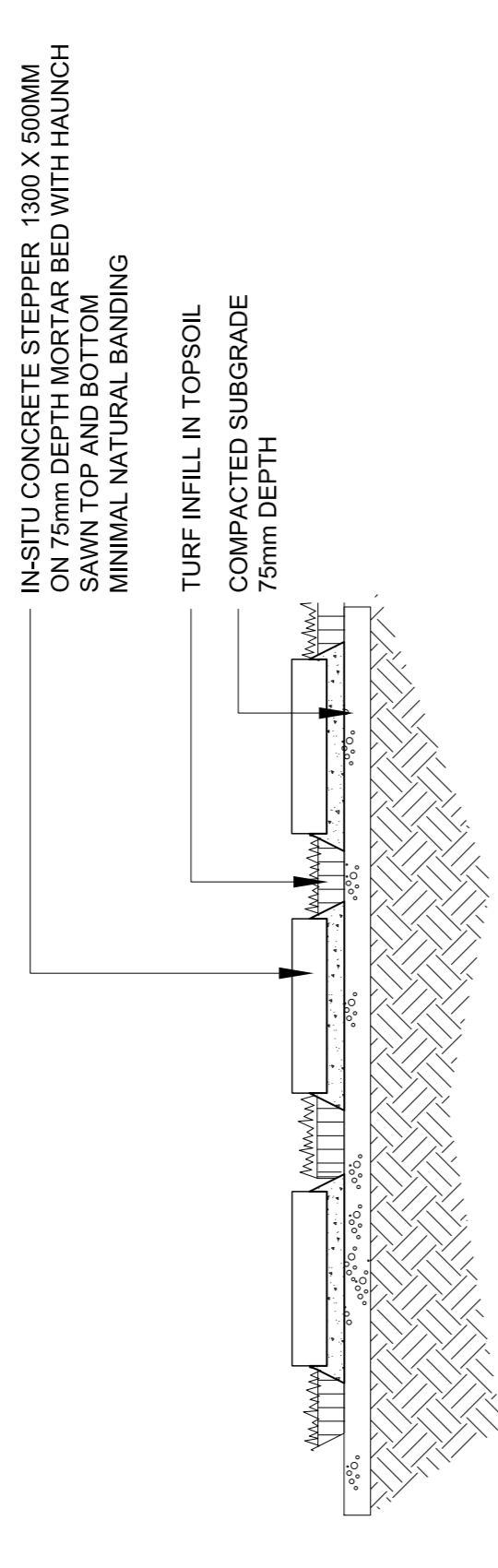


1 MASS PLANTING BED (DRIPPER IRRIGATION DETAIL)
TYPICAL SECTION 1:10

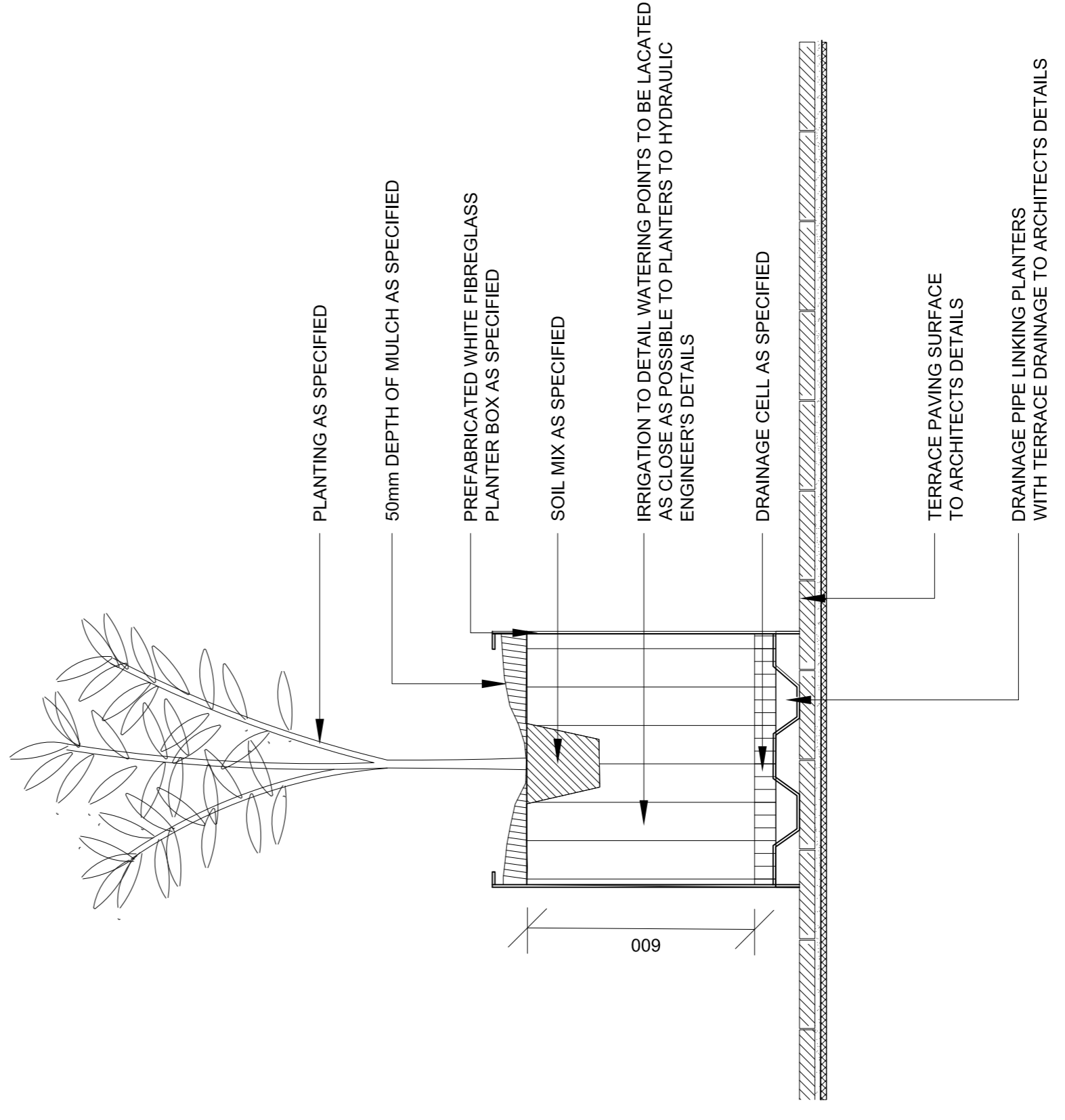


2 TREE PLANTING
TYPICAL SECTION 1:20

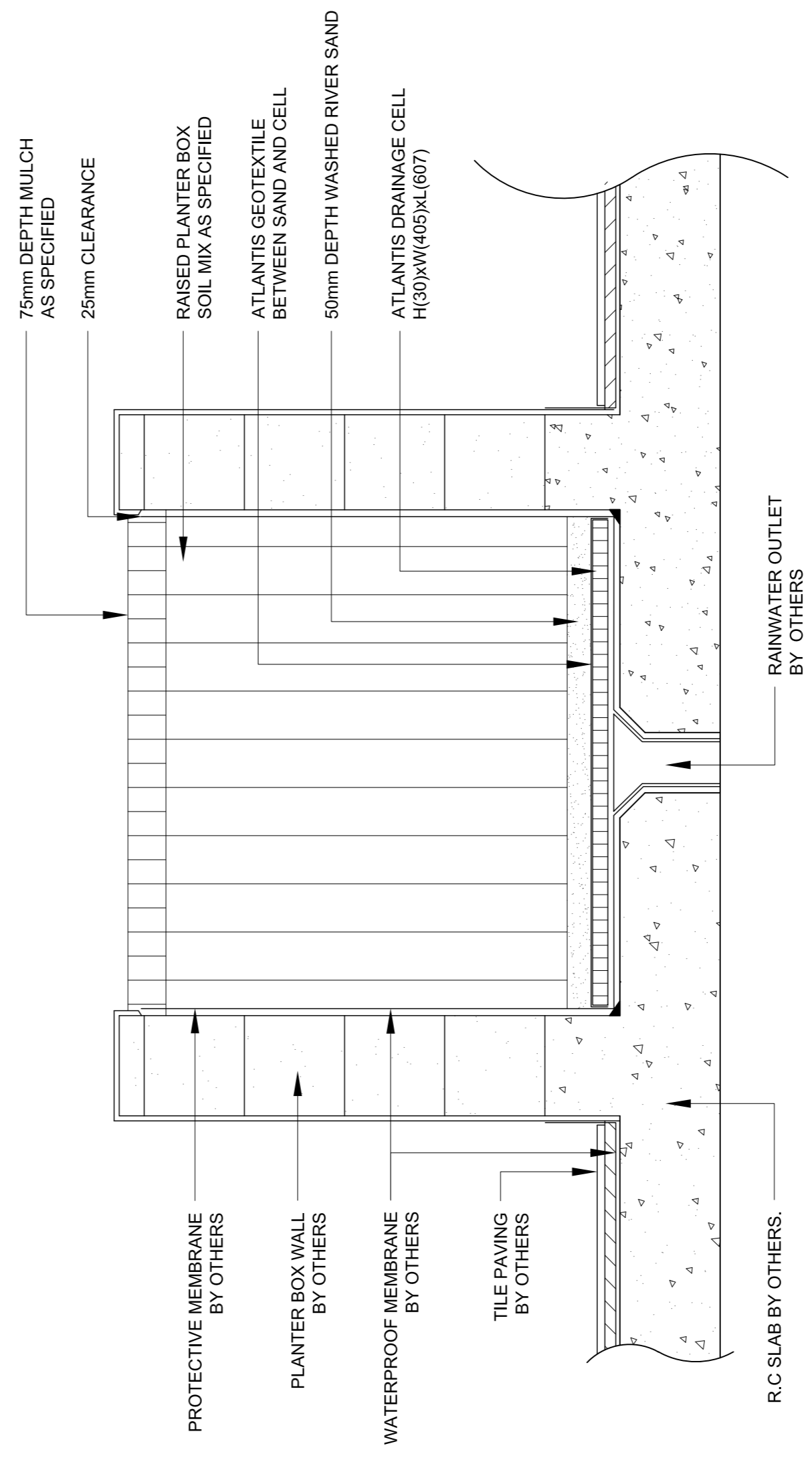
5 STEPPER PATH IN TURF
TYPICAL SECTION 1:20



6 GRC POT DETAIL
TYPICAL SECTION 1:10



4 PREFABRICATED PLANTER BOX
TYPICAL SECTION 1:10



3 RAISED PLANTER BOX
TYPICAL SECTION 1:10